

# Jefferson County Courthouse and Sheriff Building Courthouse and Sheriff's Building Renovation & Additions 311 S Center Ave Jefferson, WI 53549

PROJECT NUMBER:

2020.01.00

EMC PROJECT NUMBER:

220758-02

DATE

07/25/2022

BID DOCUMENTS  
ASBESTOS ABATEMENT  
AND SELECT DEMOLITION

SHEET TITLE - PHASING

H000 - ASBESTOS ABATEMENT PHASING PLAN - LOWER LEVEL  
H001 - ASBESTOS ABATEMENT PHASING PLAN - FIRST FLOOR  
H002 - ASBESTOS ABATEMENT PHASING PLAN - SECOND FLOOR

SHEET TITLE - ASBESTOS ABATEMENT AND SELECT DEMOLITION

H100A - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA A  
H101A - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA A  
H102A - ASBESTOS ABATEMENT PLAN - SECOND FLOOR - AREA A  
H100B - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA B  
H101B - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA B  
H102B - ASBESTOS ABATEMENT PLAN - SECOND FLOOR - AREA B  
H100C - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA C  
H101C - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA C  
H100D - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA D  
H101D - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA D  
H111B - ASBESTOS ABATEMENT DUCTWORK PLAN - FIRST FLOOR - AREA B  
H112B - ASBESTOS ABATEMENT DUCTWORK PLAN - SECOND FLOOR - AREA B

SHEET TITLE - REFERENCE

H110CR - LOWER LEVEL - DEMOLITION REFLECTED CEILING PLAN -AREA C  
H111CR - FIRST FLOOR - DEMOLITION REFLECTED CEILING PLAN -AREA C  
H201 - BUILDING ELEVATIONS  
H202 - BUILDING ELEVATIONS  
H301 - BUILDING SECTIONS

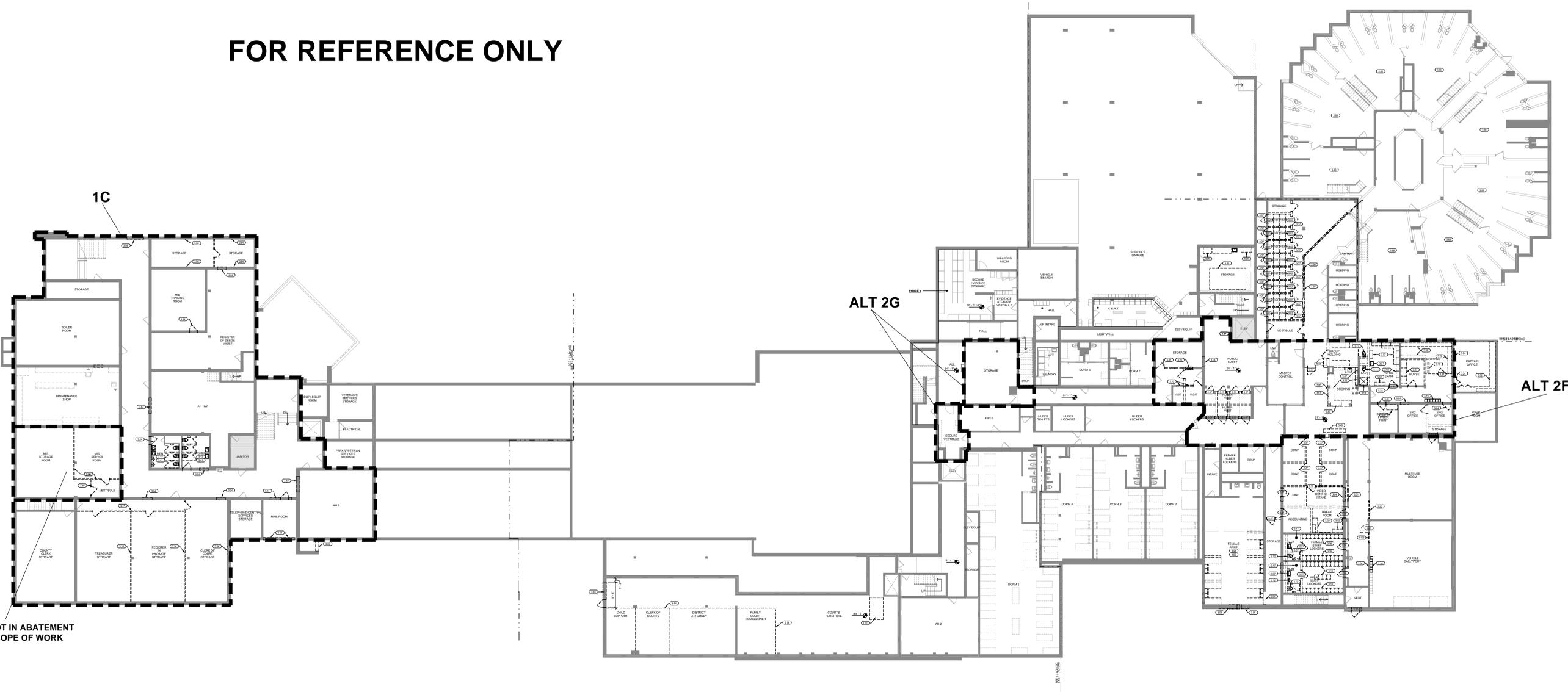
Abatement  
Consultant:



Environmental Management Consulting, Inc.

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LAKE MILLS, WI 53551  
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**FOR REFERENCE ONLY**



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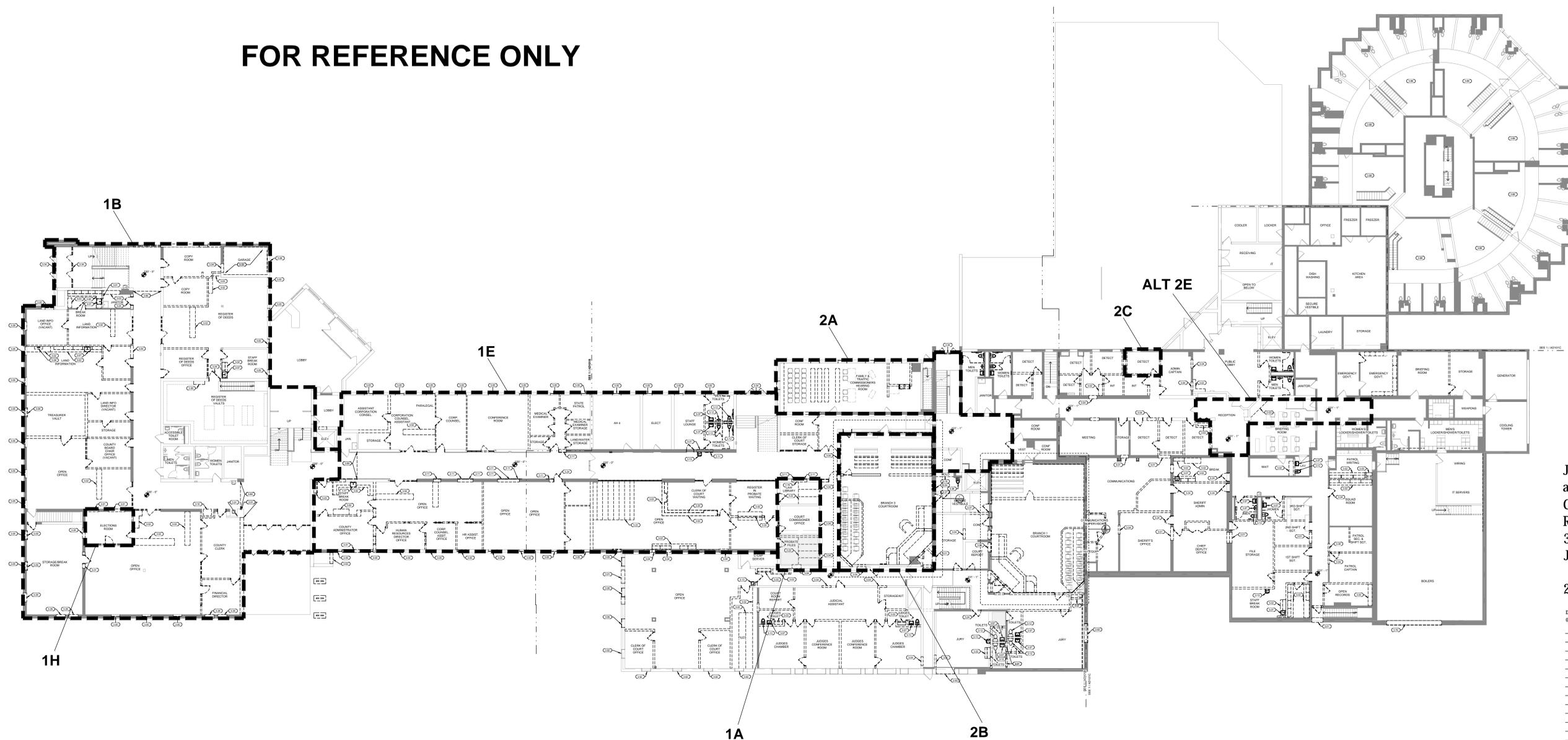
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**LOWER LEVEL - ASBESTOS ABATEMENT PHASING PLAN**  
 NOT TO SCALE

**ASBESTOS  
 ABATEMENT PHASING  
 PLAN -  
 LOWER LEVEL**

**H000**

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**FIRST FLOOR - ASBESTOS ABATEMENT PHASING PLAN**  
 NOT TO SCALE

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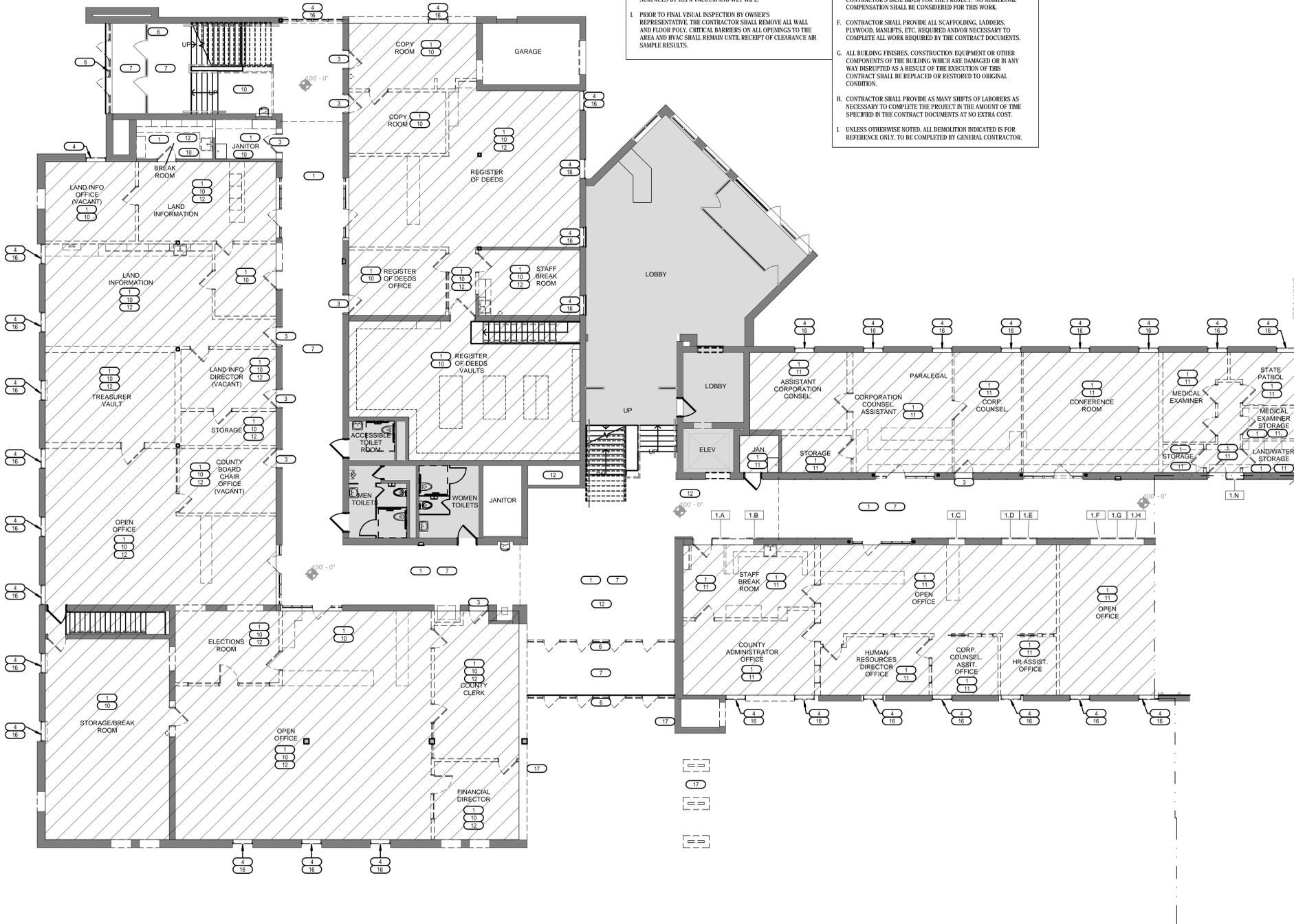
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**ASBESTOS  
 ABATEMENT PHASING  
 PLAN -  
 FIRST FLOOR**





GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES	GENERAL NOTES - SELECT DEMOLITION	GENERAL NOTES - INTERIOR DOOR/WINDOW
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING FOLLOWING TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE PLACED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE CLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SEAL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS, SHALL BE CLEANED INITIALLY USING A LEAF BLOWER, THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIP.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. IF A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANNS FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSIGNED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEPE) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIP.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR RESTORANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. CONTRACT DOCUMENTS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACM'S.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECTED ACM ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BIDS FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANIFETS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFFERED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO BE MOBILIZE TO REMOVE DOORS/WINDOWS.</p>



KEY NOTES
<p>1. REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.</p> <p>2. AREA NOT IN SCOPE OF WORK.</p>
PLAN NOTES
<p>1. REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.</p> <p>2. CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFFIT. AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.</p> <p>3. REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.</p> <p>4. REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.</p> <p>5. REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.</p> <p>6. REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.</p> <p>7. REMOVE CEILING - NON ACM DEMOLITION.</p> <p>8. CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.</p> <p>9. REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.</p> <p>10. INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.</p> <p>11. INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.</p> <p>12. REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.</p> <p>13. REMOVE ASBESTOS CONTAINING BOILER BREACHING.</p> <p>14. REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.</p> <p>15. REMOVE ASBESTOS CONTAINING DUCTWORK.</p> <p>16. REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.</p> <p>17. REMOVE ASBESTOS CONTAINING WALL CAULK.</p>

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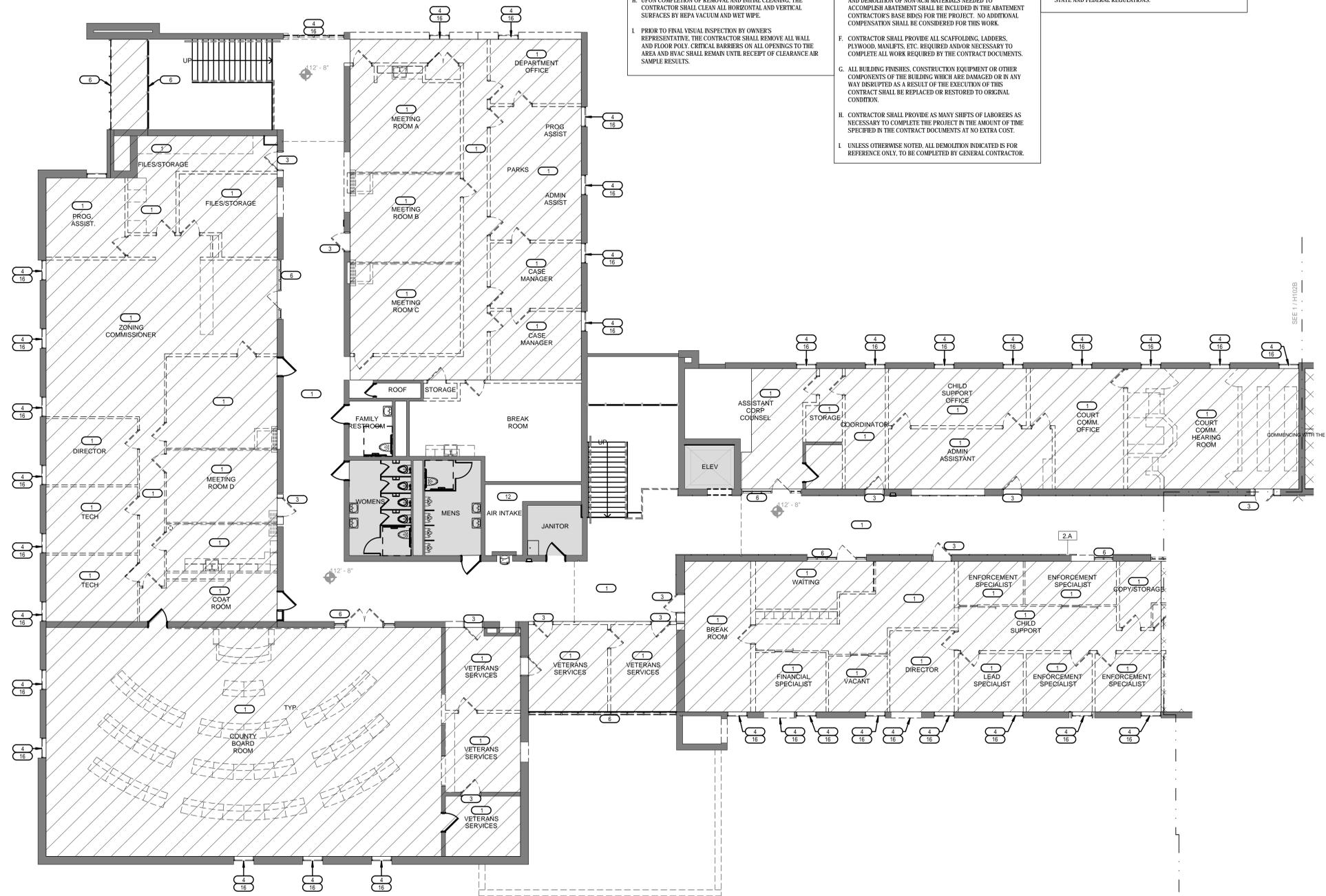
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**H101A**



GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES	GENERAL NOTES - SELECT DEMOLITION	GENERAL NOTES - INTERIOR DOOR/WINDOW
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THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON FRAMBLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS, SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, IE, PLASTER OR ACoustICAL TILES, ARE PRESENT AND EXIST BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT OPERATING HANDS FREE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO REMOVAL OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BIDS FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANIFOLDS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPE) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL COORDINATED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRAMBLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.</p>

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IN HATCHED AREA ABATEMENT CONTRACTOR TO COORDINATE ALL DOOR REMOVAL WITH THE GENERAL CONTRACTOR. ALL DOORS IN THIS AREA ARE THE RESPONSIBILITY OF THE ABATEMENT CONTRACTOR INCLUDING THE DOORS NOT MARKED FOR ABATEMENT.

KEY NOTES	
	REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
	AREA NOT IN SCOPE OF WORK.
PLAN NOTES	
1	REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
2	CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SLOTTED AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
3	REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
4	REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
5	REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
6	REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
7	REMOVE CEILING - NON ACM DEMOLITION.
8	CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
9	REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
10	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
11	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
12	REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
13	REMOVE ASBESTOS CONTAINING BOILER BREACHING.
14	REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
15	REMOVE ASBESTOS CONTAINING DUCTWORK.
16	REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
17	REMOVE ASBESTOS CONTAINING WALL CAULK.

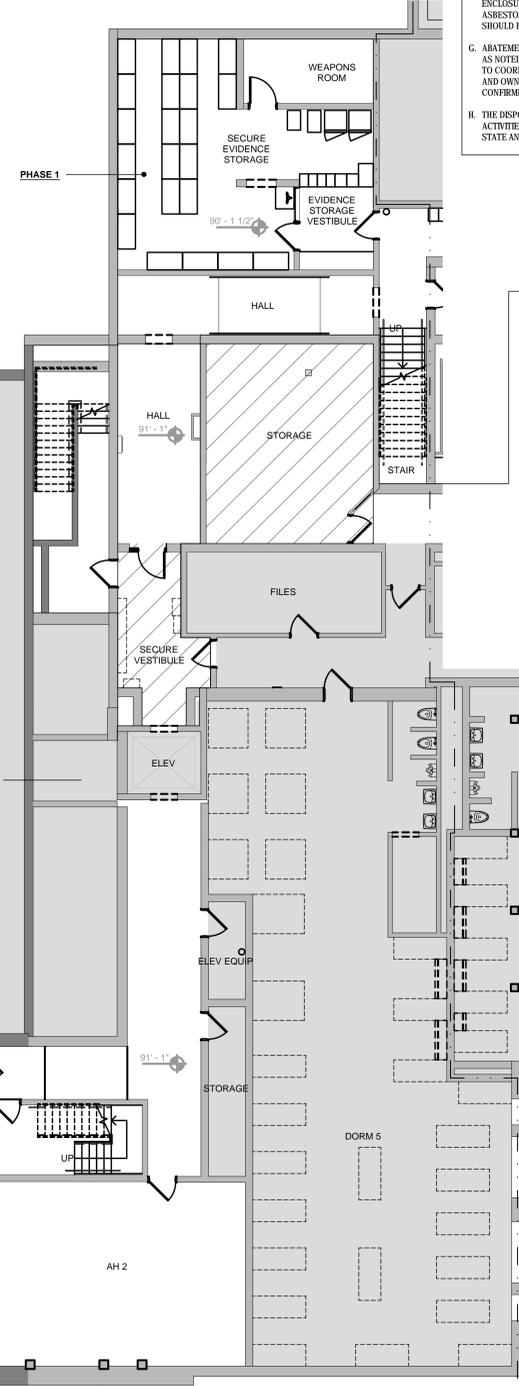
Jefferson County Courthouse  
and Sheriff Building  
Courthouse and Sheriff's Building  
Renovation & Additions  
311 S Center Ave  
Jefferson, WI 53549

2020.01.00

DATE: 07/25/2022  
ISSUANCE/REVISIONS:  
BID DOCUMENTS

# ASBESTOS ABATEMENT PLAN - SECOND FLOOR - AREA A

GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING GLOVE BAG TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A # 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRA INDICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY-APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MPE) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIP.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOOR/WINDOWS.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>



- KEY NOTES**
- 1 REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
  - 2 AREA NOT IN SCOPE OF WORK.
- PLAN NOTES**
- 1 REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
  - 2 CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL CEILING/SOFFIT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
  - 3 REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
  - 4 REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 5 REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 6 REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
  - 7 REMOVE CEILING - NON ACM DEMOLITION.
  - 8 CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
  - 9 REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
  - 10 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR. REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 11 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR. REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 12 REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
  - 13 REMOVE ASBESTOS CONTAINING BOILER BREECING.
  - 14 REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
  - 15 REMOVE ASBESTOS CONTAINING DUCTWORK.
  - 16 REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
  - 17 REMOVE ASBESTOS CONTAINING WALL CAULK.

Jefferson County Courthouse  
and Sheriff Building  
Courthouse and Sheriff's Building  
Renovation & Additions  
311 S Center Ave  
Jefferson, WI 53549

2020.01.00

DATE: 07/25/2022  
ISSUANCE/REVISIONS: BB DOCUMENTS

**ASBESTOS  
ABATEMENT  
PLAN  
LOWER LEVEL  
- AREA B**

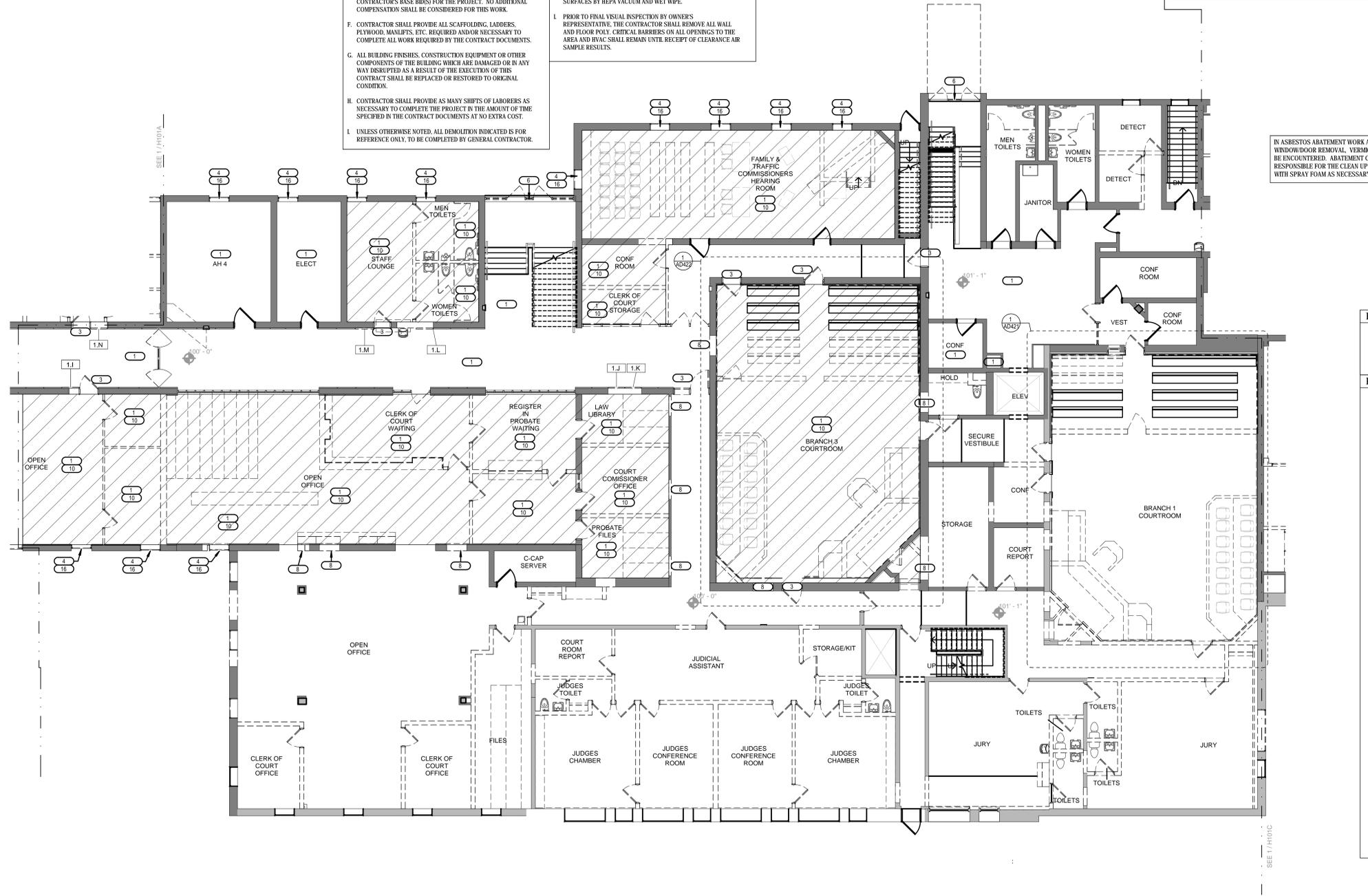
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GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING CLOTHING TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILING, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4 RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WORK DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR ABATEMENT. THE ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON FIELD AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILING, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BIDS FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHEETS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER AND PREEXISTING SITE SURVEY INFORMATION. THE SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACoustICAL TILES, ARE PRESENT AND EXITS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND REUSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEPE) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SEALED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULATION APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR PAINT. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS-CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.</p>	<p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPE) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEPE EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>



IN ASBESTOS ABATEMENT WORK AREA EXTERIOR WINDOW, WINDOW/DOOR REMOVAL, VERMICULITE INSULATION MAY BE ENCOUNTERED. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE FOR THE CLEAN UP AND SEALING OFF AREAS WITH SPRAY FOAM AS NECESSARY.

KEY NOTES	
	REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
	AREA NOT IN SCOPE OF WORK.
PLAN NOTES	
	REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
	CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFFIT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
	REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
	REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
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	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILING AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILING AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
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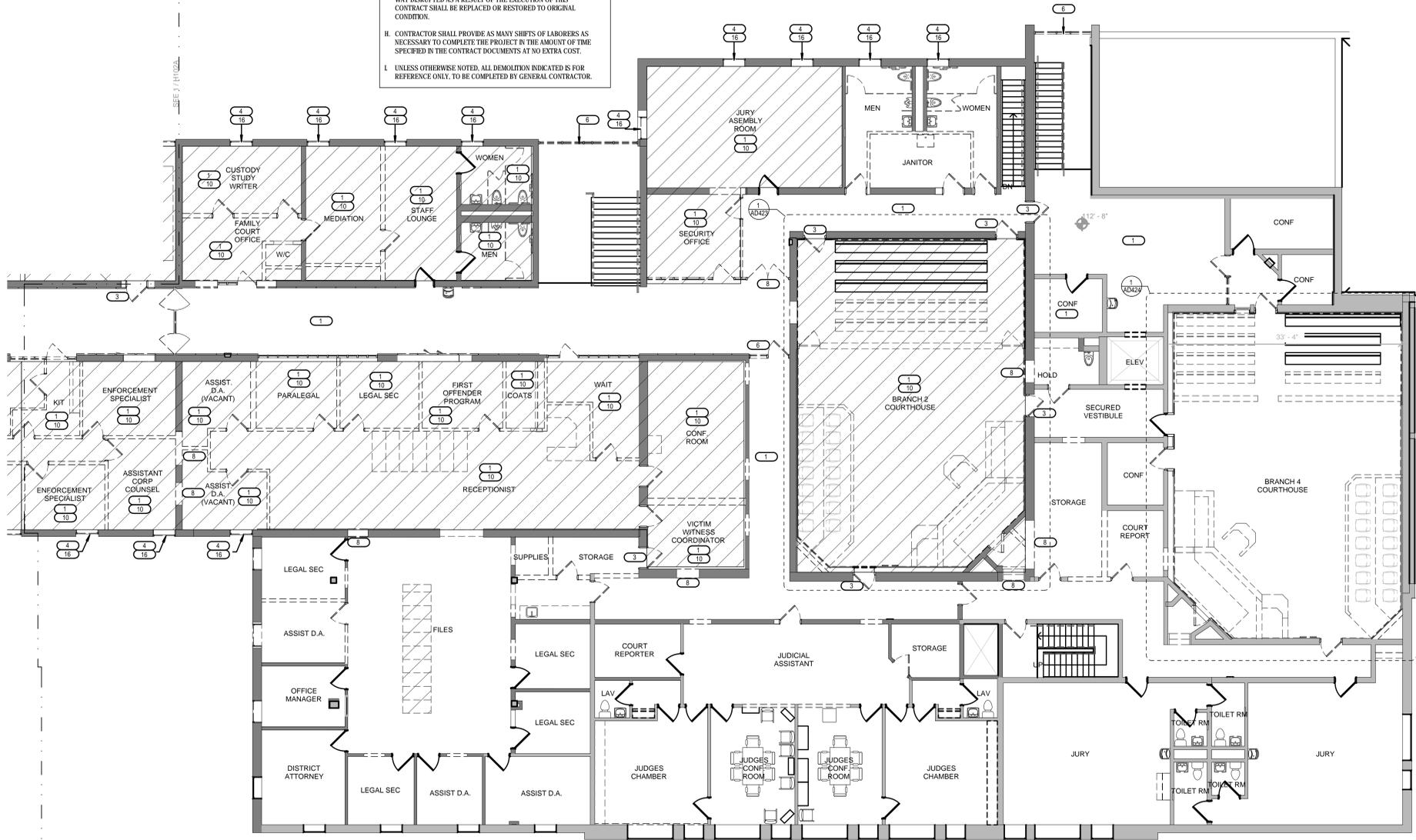
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ASBESTOS  
ABATEMENT  
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FIRST FLOOR  
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GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING GLOVE BAG TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO: CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AND WET WIPED/MOPPED, IF COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN ON ACN AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND REPORTING SITE CONDITIONS. NO CONTRACTOR MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO: CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACoustICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY-APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL RIGGING EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL ADJACENT SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPING.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONTROLLED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER, THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO MOBILIZE TO REMOVE DOORS/WINDOWS.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTING OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEF EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>



IN ASBESTOS ABATEMENT WORK AREA EXTERIOR WINDOW, WINDOW/DOOR REMOVAL, VERMICULITE INSULATION MAY BE ENCOUNTERED. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE FOR THE CLEAN UP AND SEALING OFF AREAS WITH SPRAY FOAM AS NECESSARY.

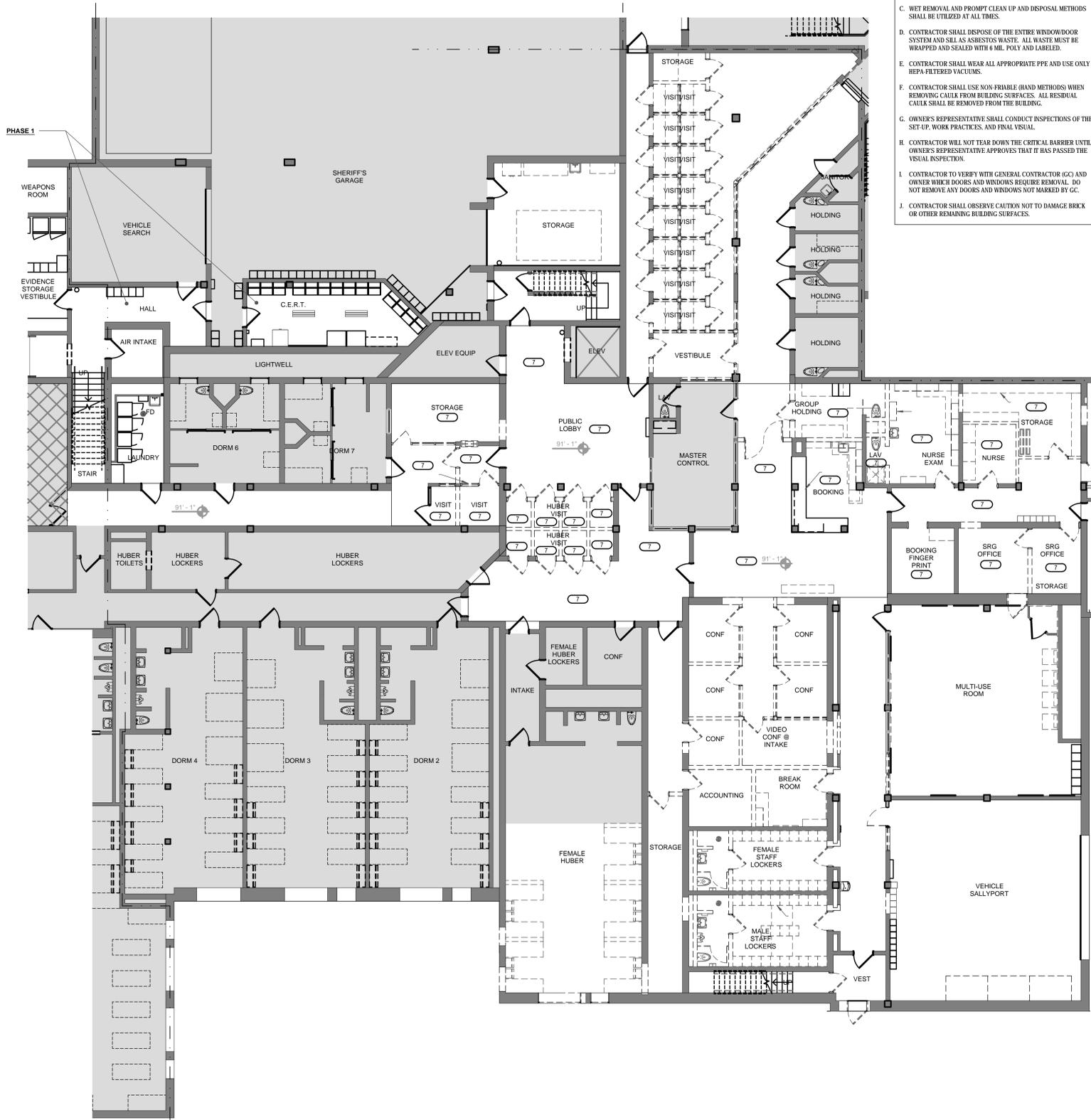
- KEY NOTES**
- 1 REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
  - 2 REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
  - 3 CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFFIT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
  - 4 REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
  - 5 REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 6 REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 7 REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
  - 8 REMOVE CEILING - NON ACM DEMOLITION.
  - 9 CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
  - 10 REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
  - 11 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 12 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 13 REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
  - 14 REMOVE ASBESTOS CONTAINING BOILER BREACHING.
  - 15 REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
  - 16 REMOVE ASBESTOS CONTAINING DUCTWORK.
  - 17 REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
  - 18 REMOVE ASBESTOS CONTAINING WALL CAULK.
- PLAN NOTES**
- 1 REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
  - 2 CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFFIT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
  - 3 REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
  - 4 REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 5 REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 6 REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
  - 7 REMOVE CEILING - NON ACM DEMOLITION.
  - 8 CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
  - 9 REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
  - 10 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 11 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 12 REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
  - 13 REMOVE ASBESTOS CONTAINING BOILER BREACHING.
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  - 15 REMOVE ASBESTOS CONTAINING DUCTWORK.
  - 16 REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
  - 17 REMOVE ASBESTOS CONTAINING WALL CAULK.

Jefferson County Courthouse and Sheriff Building  
 Courthouse and Sheriff's Building  
 Renovation & Additions  
 311 S Center Ave  
 Jefferson, WI 53549

2020.01.00

DATE: 07/25/2022 ISSUANCE: RYS/RSWS  
 RD DOCUMENTS

# ASBESTOS ABATEMENT PLAN - SECOND FLOOR - AREA B



**GENERAL NOTES - EXTERIOR WINDOWS/DOORS**

- A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.
- B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.
- C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.
- D. CONTRACTOR SHALL REMOVE THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL. POLY AND LABELED.
- E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.
- F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.
- G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.
- H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.
- I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.
- J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.

**GENERAL NOTES - AC SPRAY-ON INSULATION**

- A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.
- B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.
- C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS 1 WORK PROCEDURES.
- D. AIR SCRUBBERING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.
- E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.
- F. IF A DROP CEILING, IE PLASTER OR ACoustICAL TILES, ARE PRESENT AND EXIST BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEPE) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.
- G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.
- H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIP.
- I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OCCASIONS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.

**GENERAL NOTES**

- A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR RESTRICTION. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.
- B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO REMEDIATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.
- C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.
- D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO: CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILING, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.
- E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.
- F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANIFOLDS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT BY THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.
- I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.

**GENERAL NOTES - SELECT DEMOLITION**

- WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:
- A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.
- B. GENERAL CONTRACTOR/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.
- C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.
- D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPE) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.
- E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.
- F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.
- G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.
- H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

**GENERAL NOTES - INTERIOR DOOR/WINDOW**

- A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.
- B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.
- C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.
- D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.
- E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.
- F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO BE MOBILE TO REMOVE DOORS/WINDOWS.

**GENERAL NOTES - NON-CHEM MASTIC REMOVAL**

- IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:
- A. WET METHODS MUST BE OBSERVED.
- B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.
- C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.
- D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.
- E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.
- F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.

- KEY NOTES**
- ☐ REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
  - AREA NOT IN SCOPE OF WORK.
- PLAN NOTES**
- 1 REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
  - 2 CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
  - 3 REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
  - 4 REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 5 REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
  - 6 REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
  - 7 REMOVE CEILING - NON ACM DEMOLITION.
  - 8 CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
  - 9 REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
  - 10 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILING AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 11 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILING AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
  - 12 REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
  - 13 REMOVE ASBESTOS CONTAINING BOILER BREECING.
  - 14 REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
  - 15 REMOVE ASBESTOS CONTAINING DUCTWORK.
  - 16 REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
  - 17 REMOVE ASBESTOS CONTAINING WALL CAULK.



Jefferson County Courthouse and Sheriff Building  
 Courthouse and Sheriff's Building  
 Renovation & Additions  
 311 S Center Ave  
 Jefferson, WI 53549

2020.01.00

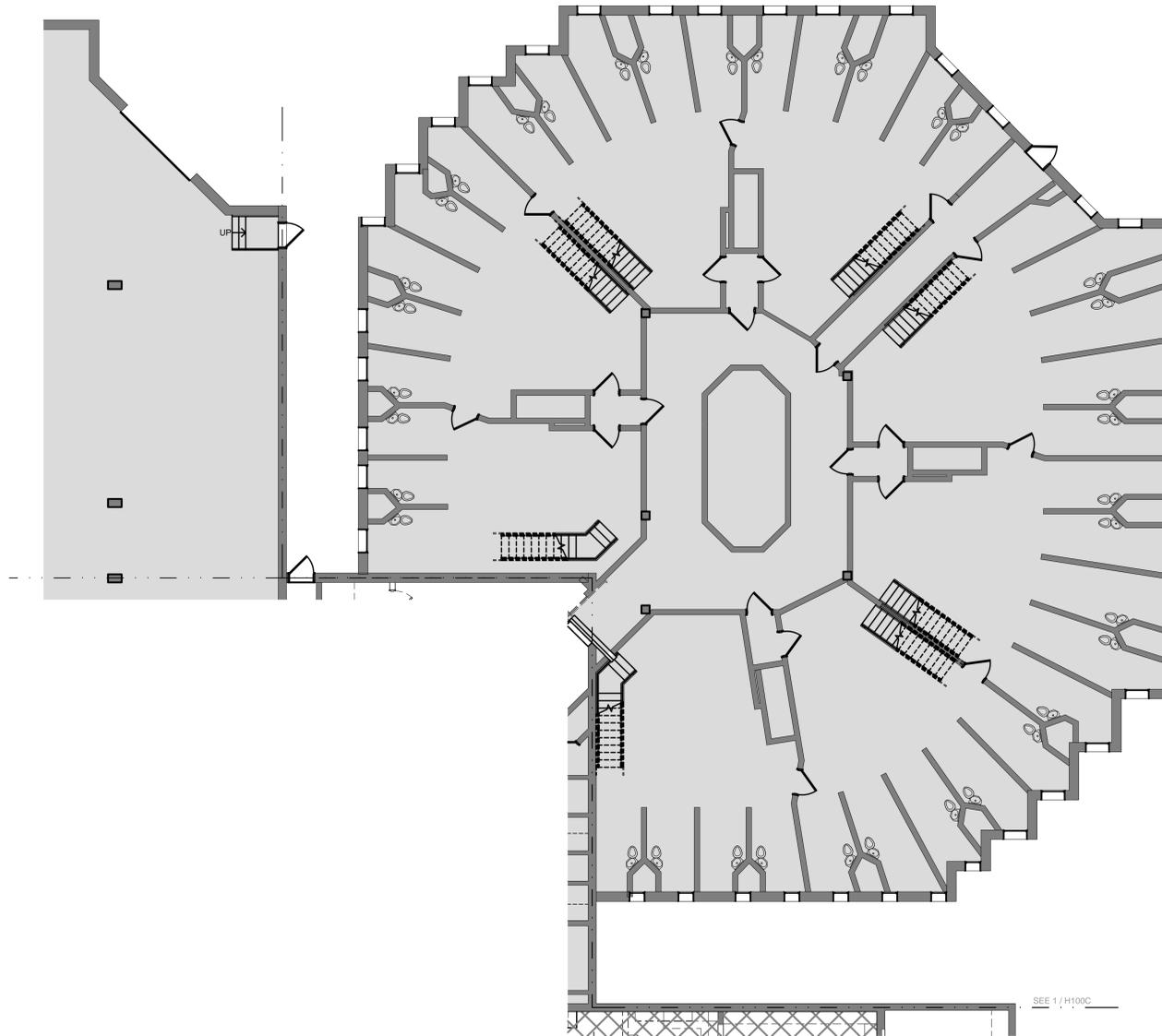
DATE: 07/25/2022 ISSUANCE/REVISIONS: BID DOCUMENTS

ASBESTOS  
 ABATEMENT  
 PLAN  
 LOWER LEVEL  
 - AREA C

H100C







**NO WORK ON THIS PLAN**

Jefferson County Courthouse  
 and Sheriff Building  
 Courthouse and Sheriff's Building  
 Renovation & Additions  
 311 S Center Ave  
 Jefferson, WI 53549

2020.01.00

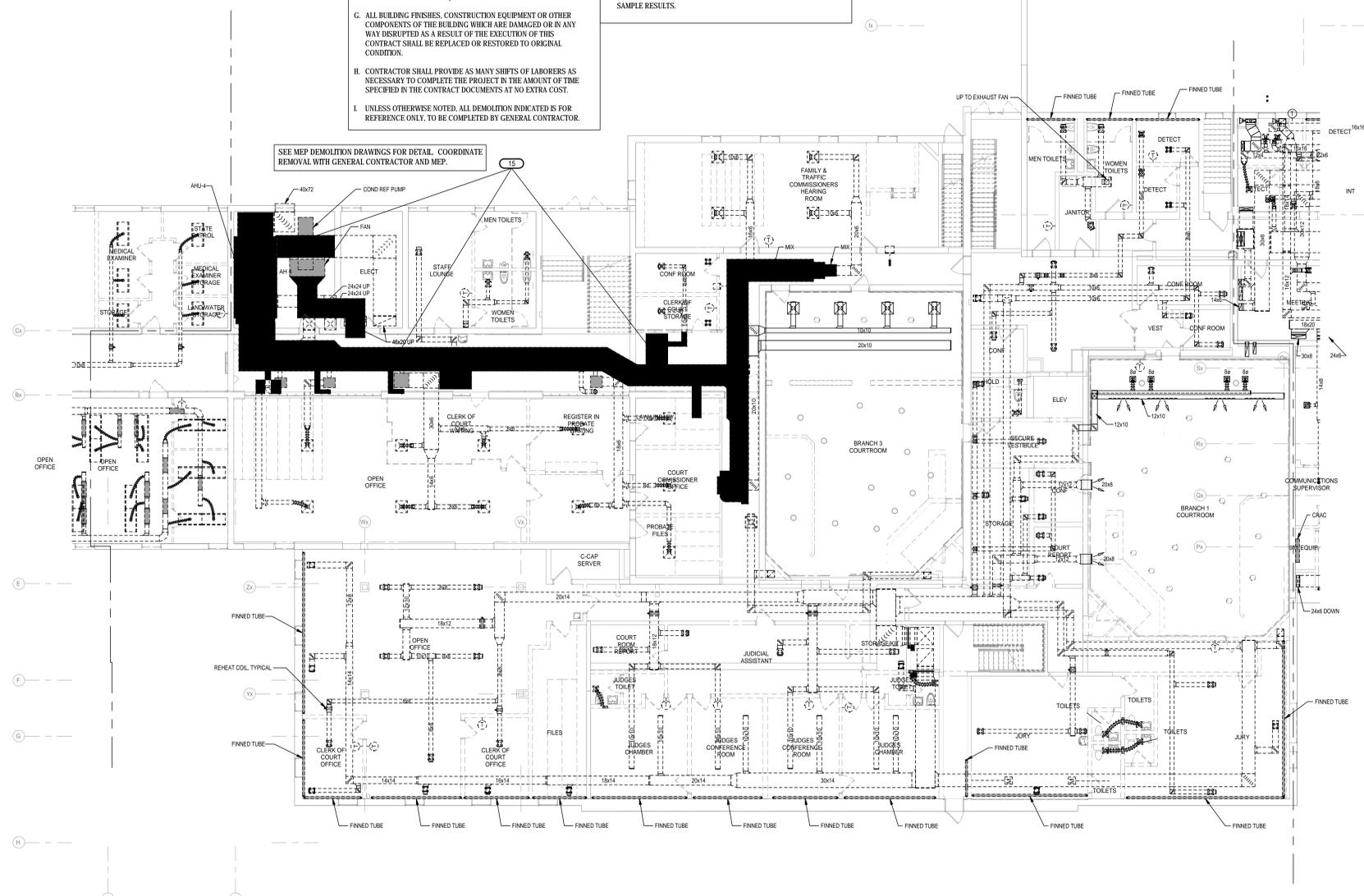
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**ASBESTOS  
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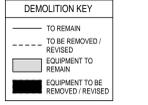




GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING GLOVEBOX TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILING, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. DEMOLITION TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR RESTRICTION. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PRE-EXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACM'S.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACM'S ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILING, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BIDS) FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS 1 WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIP.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY, CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS, SHALL BE CLEANED INITIALLY USING A LEAF BLOWER, THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. 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DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>



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1 H111B ASBESTOS ABATEMENT DUCTWORK PLAN - FIRST FLOOR - AREA B NOT TO SCALE

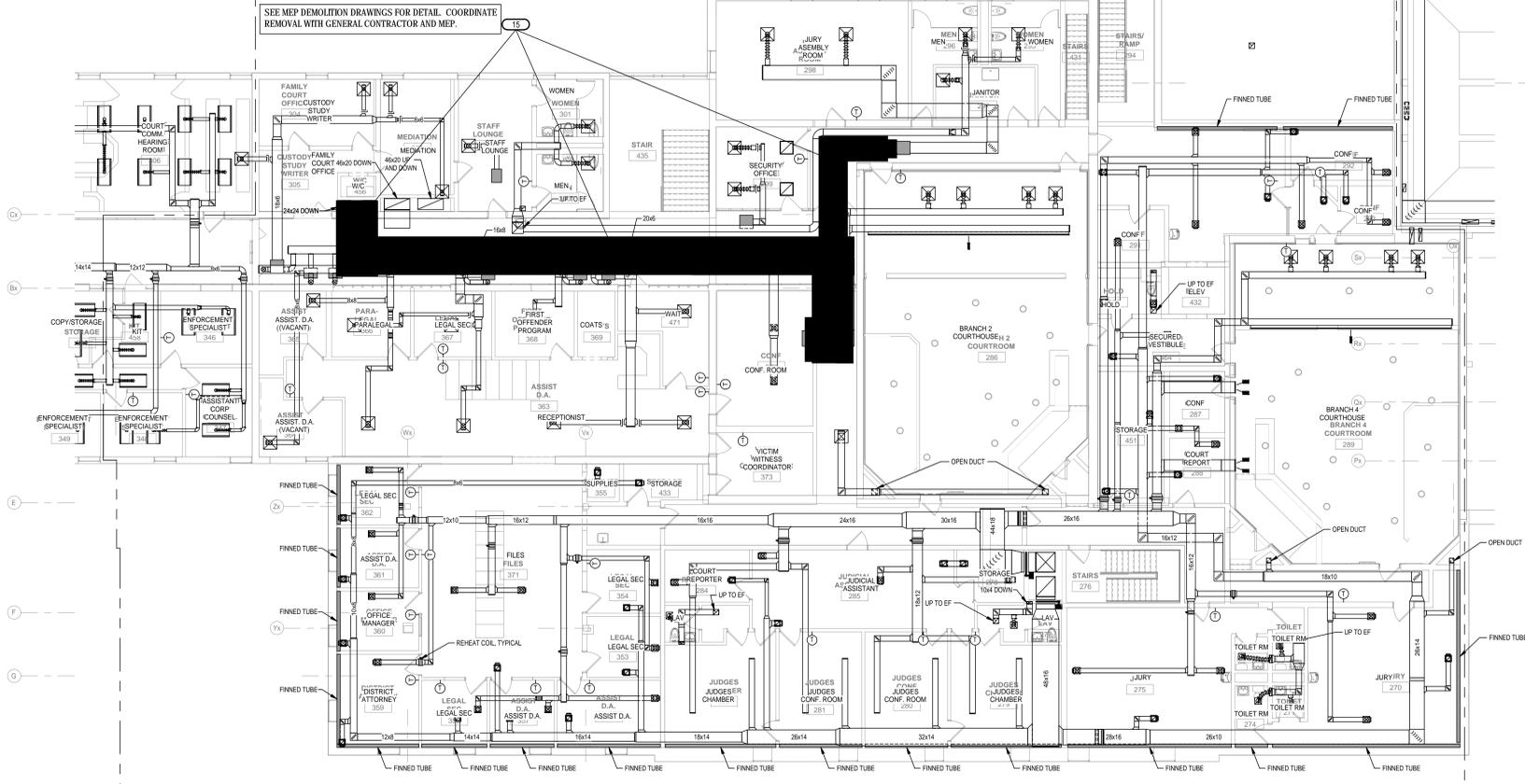
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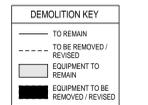
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 H111B

GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING CLOSING TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRILABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRCK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMS.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMS ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BIDS FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (MISTED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, IE PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEPE) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPE. THE AREA MUST BE DUST FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS, SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPE.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEEMED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRILABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPE) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEPE EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTIGUOUS CONDITE, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>



SEE MEP DEMOLITION DRAWINGS FOR DETAIL. COORDINATE REMOVAL WITH GENERAL CONTRACTOR AND MEP.

KEY NOTES	
	REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
	AREA NOT IN SCOPE OF WORK.
PLAN NOTES	
	REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
	CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING JOISTS. REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
	REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
	REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
	REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
	REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
	REMOVE CEILING - NON ACM DEMOLITION.
	CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
	REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
	REMOVE ASBESTOS CONTAINING BOILER BREECING.
	REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
	REMOVE ASBESTOS CONTAINING DUCTWORK.
	REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
	REMOVE ASBESTOS CONTAINING WALL CAULK.



Jefferson County Courthouse and Sheriff Building  
 Courthouse and Sheriff's Building  
 Renovation & Additions  
 311 S Center Ave  
 Jefferson, WI 53549

2020.01.00

DATE 07/25/2022 ISSUANCE/REVISIONS  
 BID DOCUMENTS

ASBESTOS  
 ABATEMENT  
 DUCTWORK  
 PLAN -  
 SECOND FLOOR  
 - AREA A

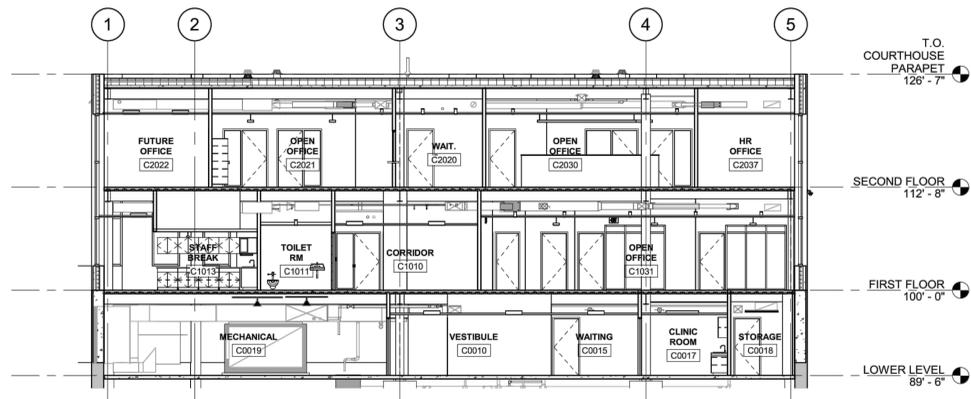
H112B



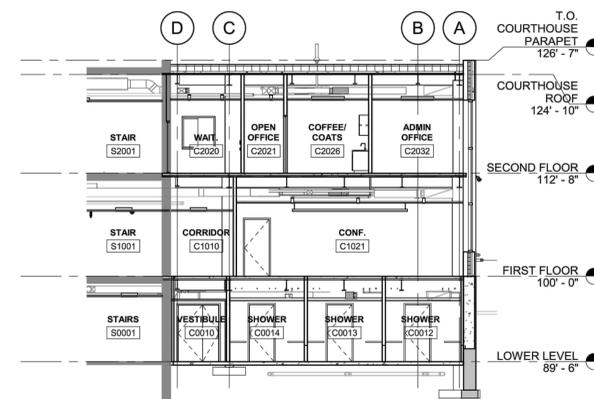




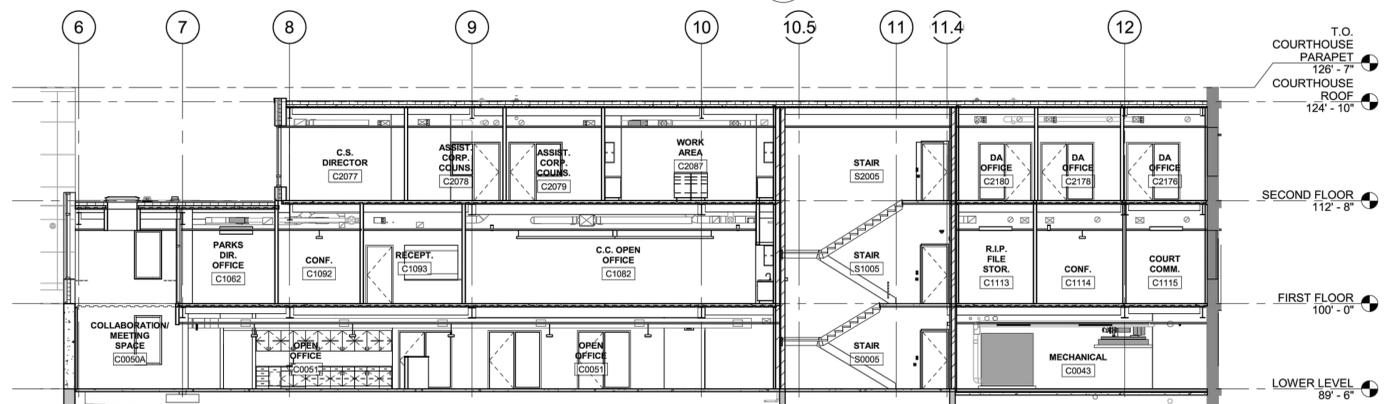




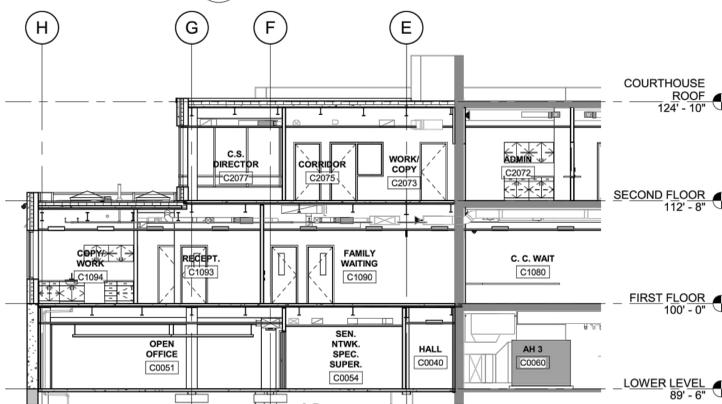
5 NORTH ADDITION E/W BUILDING SECTION  
 A301 1/8" = 1'-0"



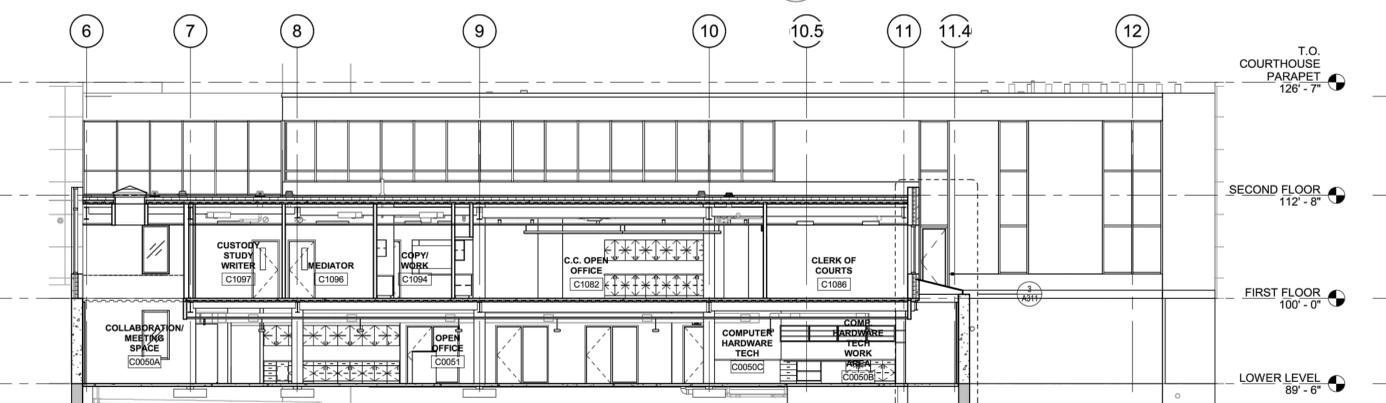
1 NORTH ADDITION N/S BUILDING SECTION  
 A301 1/8" = 1'-0"



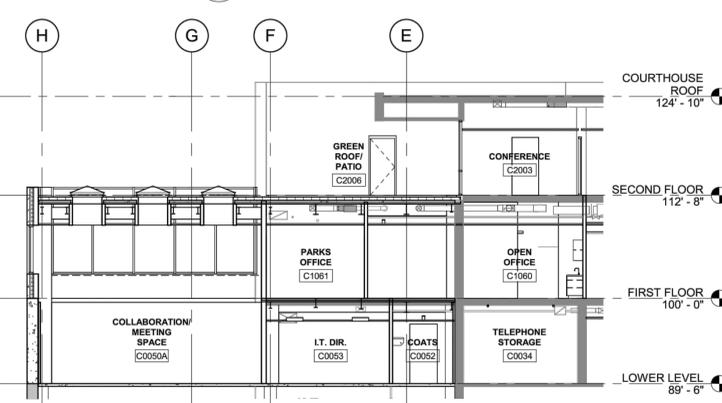
6 SOUTHWEST ADDITION E/W BUILDING SECTION 1  
 A301 1/8" = 1'-0"



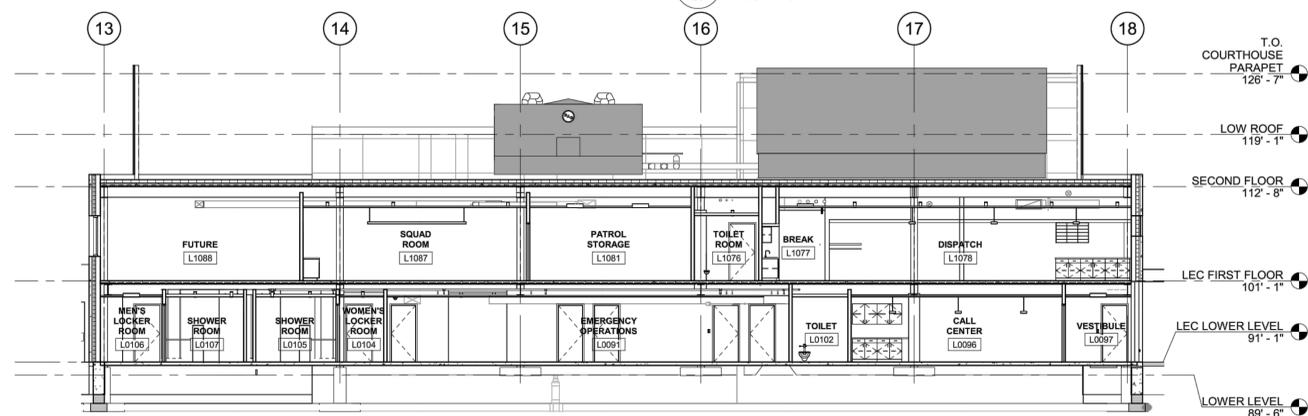
2 SOUTHWEST ADDITION N/S BUILDING SECTION 1  
 A301 1/8" = 1'-0"



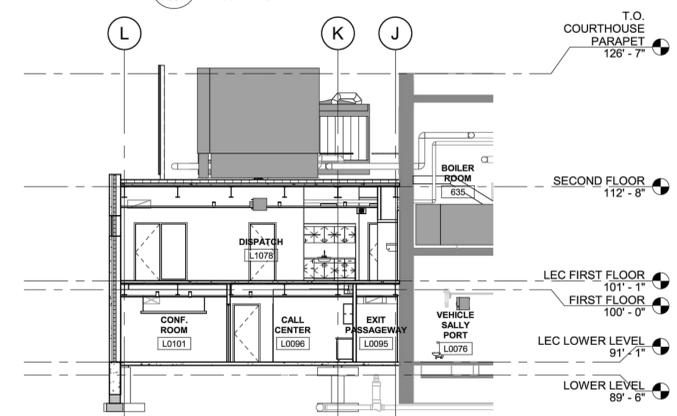
7 SOUTHWEST ADDITION E/W BUILDING SECTION 2  
 A301 1/8" = 1'-0"



3 SOUTHWEST ADDITION N/S BUILDING SECTION 2  
 A301 1/8" = 1'-0"



8 SOUTHEAST ADDITION E/W BUILDING SECTION  
 A301 1/8" = 1'-0"



4 SOUTHEAST ADDITION N/S BUILDING SECTION  
 A301 1/8" = 1'-0"

Jefferson County Courthouse  
 and Sheriff Building  
 Courthouse and Sheriff's Building  
 Renovation & Additions  
 311 S Center Ave  
 Jefferson, WI 53549

2020.01.00

DATE 07/25/2022  
 ISSUE/REVISIONS  
 BID DOCUMENTS

BUILDING  
 SECTIONS

H301

FOR REFERENCE ONLY - NOT TO SCALE