

Jefferson County Courthouse and Sheriff Building
Courthouse and Sheriff's Building Renovation & Additions
311 S Center Ave
Jefferson, WI 53549

PROJECT NUMBER:
2020.01.00

BID DOCUMENTS
ASBESTOS ABATEMENT
AND SELECT DEMOLITION

DATE
07/25/2022

EMC PROJECT NUMBER:
220758-02

SHEET TITLE - PHASING

H000 - ASBESTOS ABATEMENT PHASING PLAN - LOWER LEVEL
H001 - ASBESTOS ABATEMENT PHASING PLAN - FIRST FLOOR
H002 - ASBESTOS ABATEMENT PHASING PLAN - SECOND FLOOR

SHEET TILE - ASBESTOS ABATEMENT AND SELECT DEMOLITION

H100A - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA A
H101A - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA A
H102A - ASBESTOS ABATEMENT PLAN - SECOND FLOOR - AREA A
H100B - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA B
H101B - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA B
H102B - ASBESTOS ABATEMENT PLAN - SECOND FLOOR - AREA B
H100C - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA C
H101C - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA C
H100D - ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA D
H101D - ASBESTOS ABATEMENT PLAN - FIRST FLOOR - AREA D
H111B - ASBESTOS ABATEMENT DUCTWORK PLAN - FIRST FLOOR - AREA B
H112B - ASBESTOS ABATEMENT DUCTWORK PLAN - SECOND FLOOR - AREA B

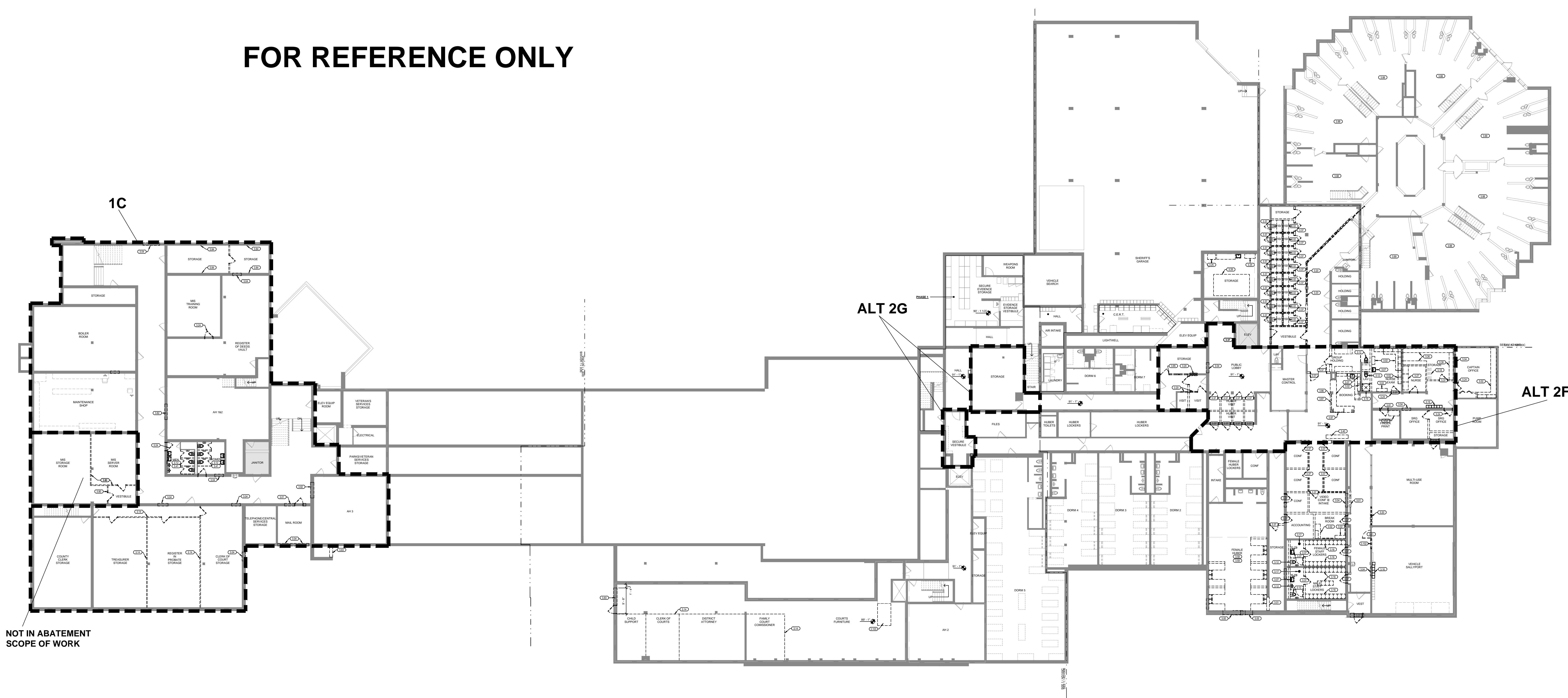
SHEET TITLE - REFERENCE

H110CR - LOWER LEVEL - DEMOLITION REFLECTED CEILING PLAN -AREA C
H111CR - FIRST FLOOR - DEMOLITION REFLECTED CEILING PLAN -AREA C
H201 - BUILDING ELEVATIONS
H202 - BUILDING ELEVATIONS
H301 - BUILDING SECTIONS

Abatement
Consultant:



FOR REFERENCE ONLY



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and Sheriff's Building
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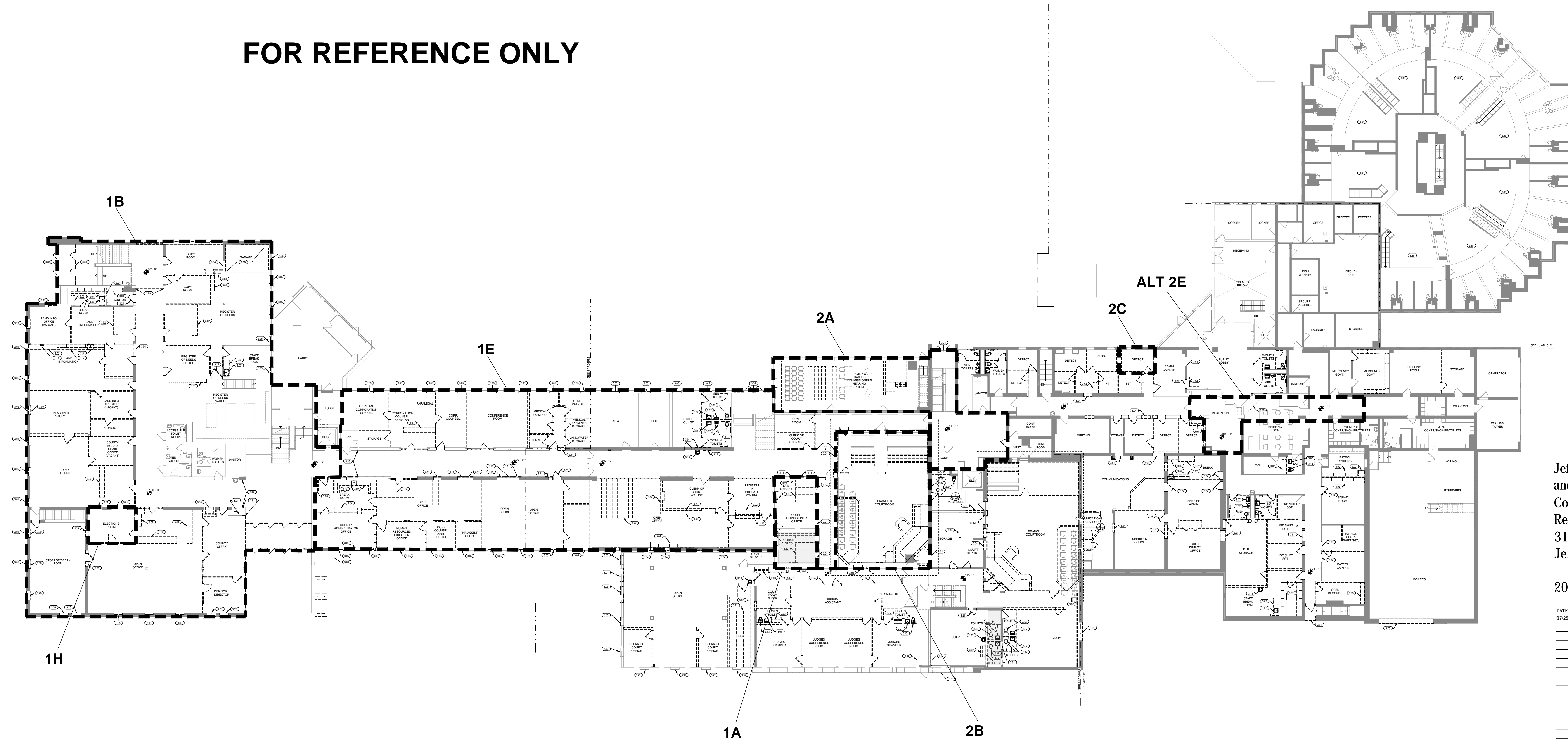
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07/25/2022	BID DOCUMENTS

LOWER LEVEL - ASBESTOS ABATEMENT PHASING PLAN
NOT TO SCALE

ASBESTOS
ABATEMENT PHASING
PLAN -
LOWER LEVEL

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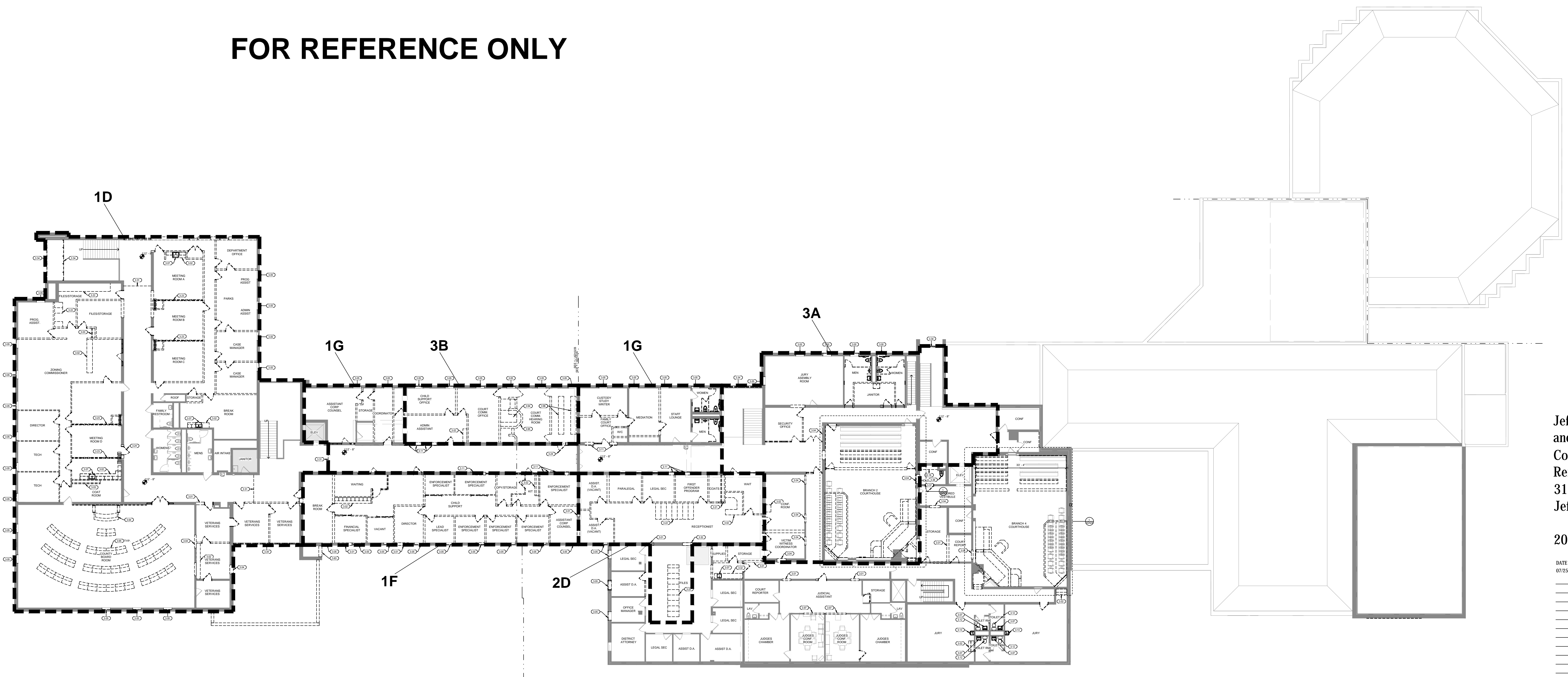
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DATE	ISSUANCE/REVISIONS
07/25/2022	RD DOCUMENTS

FIRST FLOOR - ASBESTOS ABATEMENT PHASING PLAN
NOT TO SCALE

ASBESTOS
ABATEMENT PHASING
PLAN -
FIRST FLOOR

FOR REFERENCE ONLY



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2020.01.00

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SECOND FLOOR - ASBESTOS ABATEMENT PHASING PLAN
NOT TO SCALE

ASBESTOS
ABATEMENT PHASING
PLAN -
SECOND FLOOR

GENERAL NOTES - TSI REMOVAL

- A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING GLOVEBAG TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.
- B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.
- C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.
- D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.
- E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPE/DMOPPED, IF FEASIBLE.

GENERAL NOTES - EXTERIOR WINDOWS/DOORS

- A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.
- B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.
- C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.
- D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.
- E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.
- F. CONTRACTOR SHALL USE NON-FRIABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.
- G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.
- H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.
- I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.
- J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.

GENERAL NOTES - NON-CHEM MASTIC REMOVAL

- IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:
- A. WET METHODS MUST BE OBSERVED.
- B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.
- C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.
- D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPE. THE AREA MUST BE DUST FREE REGARDLESS OF THE ORIGIN OF DUSTS.
- E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS, SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPE.
- F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.

GENERAL NOTES - AC SPRAY-ON INSULATION

- A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.
- B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.
- C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.
- D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR-DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.
- E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.
- F. IF A DROP CEILING, I.E. PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY-APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSESSED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.
- G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.
- H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.
- I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND PRAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.

GENERAL NOTES

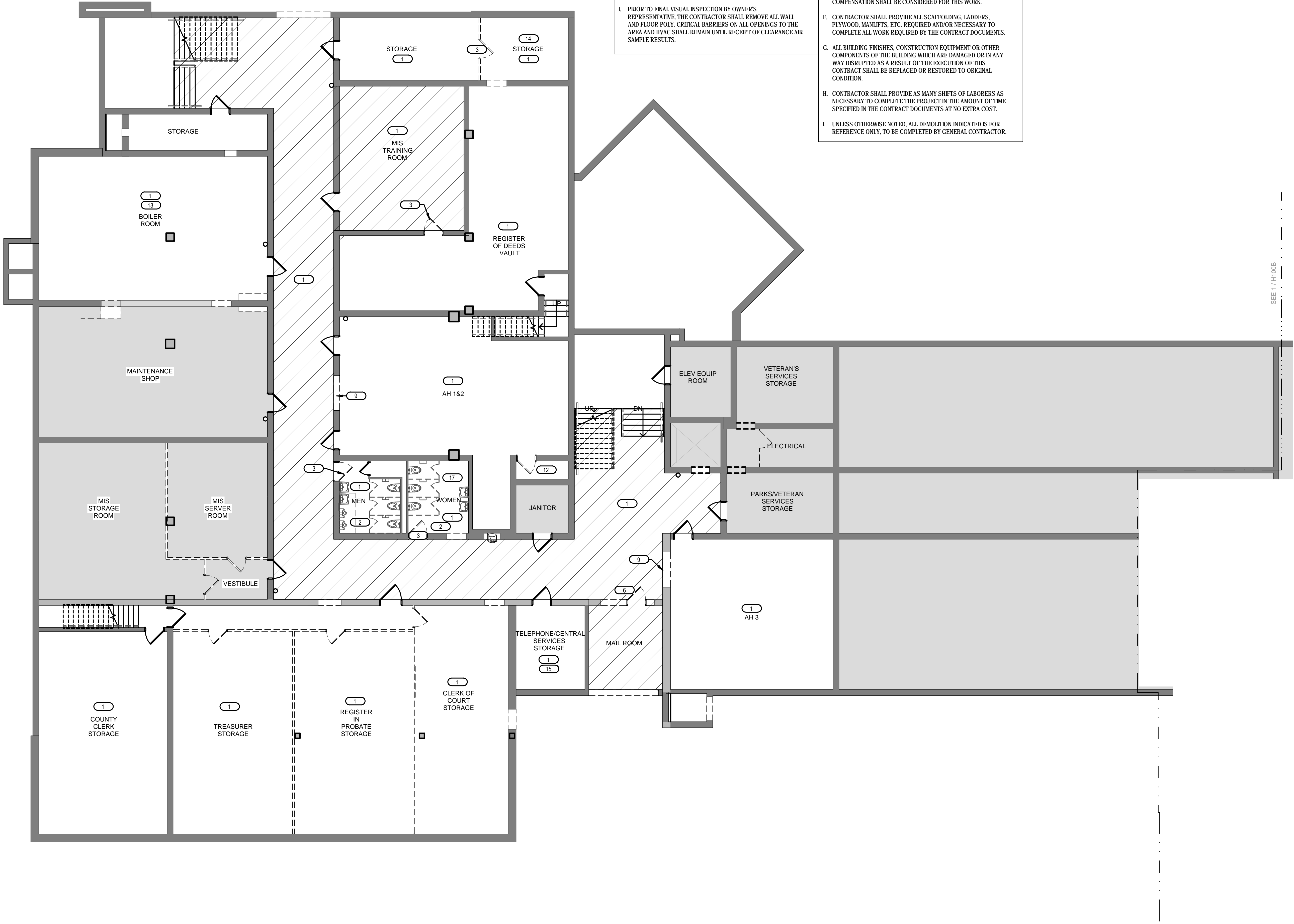
- A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PRE-EXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.
- B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.
- C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.
- D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.
- E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID(S) FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.
- F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.
- I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.

GENERAL NOTES - SELECT DEMOLITION

- WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:
- A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.
- B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.
- C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.
- D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.
- E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.
- F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.
- G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFORMED WITH GENERAL CONTRACTOR.
- H. THE DISPOSAL OF CONSTRUCTION DERRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

GENERAL NOTES - INTERIOR DOOR/WINDOW

- A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.
- B. ALL WORK SHALL BE CONDUCTED USING NON-FRIABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.
- C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.
- D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DERRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.
- E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.
- F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.



- KEY NOTES**
- 1. REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
 - 2. AREA NOT IN SCOPE OF WORK.
- PLAN NOTES**
- 1. REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
 - 2. CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL CEILING/SOFFIT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
 - 3. REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
 - 4. REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
 - 5. REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
 - 6. REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
 - 7. REMOVE CEILING - NON ACM DEMOLITION.
 - 8. CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
 - 9. REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
 - 10. INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
 - 11. INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
 - 12. REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
 - 13. REMOVE ASBESTOS CONTAINING BOILER BREECING.
 - 14. REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
 - 15. REMOVE ASBESTOS CONTAINING DUCTWORK.
 - 16. REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
 - 17. REMOVE ASBESTOS CONTAINING WALL CAULK.

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ASBESTOS
ABATEMENT
PLAN
LOWER LEVEL
- AREA A

H100A

GENERAL NOTES - TSI REMOVAL

A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING COVERAGE TECHNIQUES. REMOVAL OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO: CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.

B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.

C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.

D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.

E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.

GENERAL NOTES - EXTERIOR WINDOWS/DOORS

A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.

B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.

C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.

D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SRL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.

E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.

F. CONTRACTOR SHALL USE NON-FRIABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.

G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET UP, WORK PRACTICES, AND FINAL VISUAL.

H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.

I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.

J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.

GENERAL NOTES - NON-CHEM MASTIC REMOVAL

IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:

A. WET METHODS MUST BE OBSERVED.

B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.

C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.

D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.

E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS, SHALL BE CLEANED INITIALLY USING A LEAF BLOWER, THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.

F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE, AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.

GENERAL NOTES - AC SPRAY-ON INSULATION

A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.

B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.

C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.

D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA-FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.

E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.

F. IF A DROP CEILING, I.E. PLASTER OR ACUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSIGNED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.

G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.

H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIFE.

I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.

GENERAL NOTES

A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACTOR'S ACTIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACM'S.

B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACM'S ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.

C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.

D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO: CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.

E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BIDS FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.

F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.

G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.

H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.

I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.

GENERAL NOTES - SELECT DEMOLITION

WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:

A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.

B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.

C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.

D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.

E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.

F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.

G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.

H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

GENERAL NOTES - INTERIOR DOOR/WINDOW

A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.

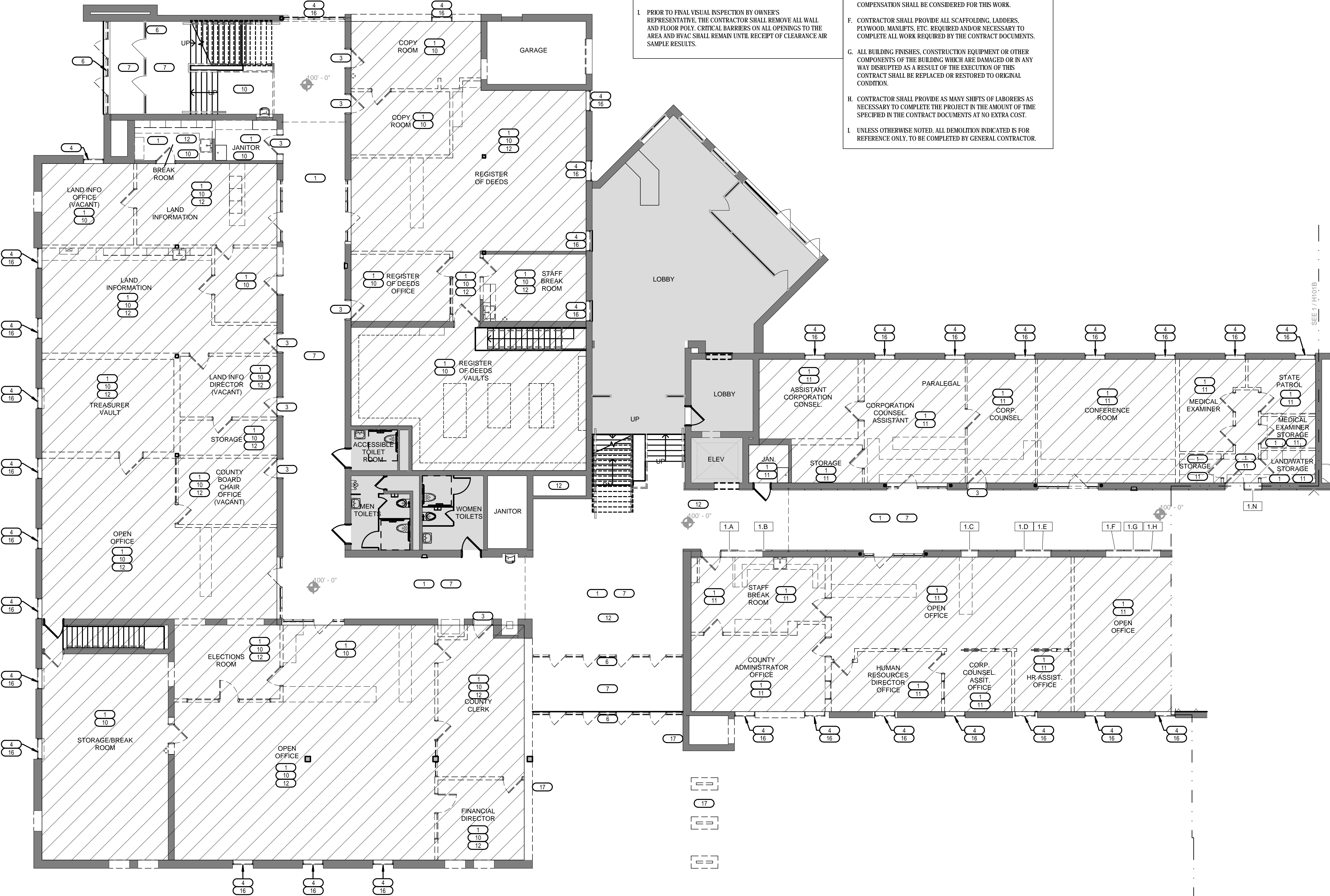
B. ALL WORK SHALL BE CONDUCTED USING NON-FRIABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.

C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.

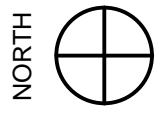
D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.

E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.

F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.



KEY NOTES	
	REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
	AREA NOT IN SCOPE OF WORK.
PLAN NOTES	
	REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
	CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFFIT. AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
	REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
	REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
	REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
	REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
	REMOVE CEILING - NON ACM DEMOLITION.
	CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
	REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
	REMOVE ASBESTOS CONTAINING BOILER BREECHING.
	REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
	REMOVE ASBESTOS CONTAINING DUCTWORK.
	REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
	REMOVE ASBESTOS CONTAINING WALL CAULK.



Jefferson County Courthouse
and Sheriff Building
Courthouse and Sheriff's Building
Renovation & Additions
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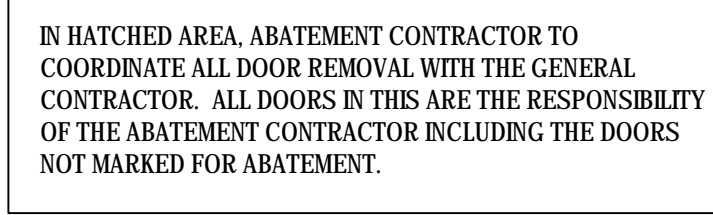
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DATE: 07/25/2022
ISSUANCE/REVISIONS:
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

ASBESTOS
ABATEMENT
PLAN
FIRST FLOOR
- AREA A

H101A

EMC
Environmental Management Consulting, Inc.
W7748 HWY V
LAKE MILLS, WI 53551
PHONE: (920) 648-6343
FAX: (920) 648-4370



KEY NOTES

-  REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
-  AREA NOT IN SCOPE OF WORK.

PLAN NOTES

- 1 REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
- 2 CONDUCT SELECTIVE DEMOLITION TO ACCESS CEILING CHASE/WALL/CEILING/SOFT. AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
- 3 REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
- 4 REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
- 5 REMOVE BLOWING LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
- 6 REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
- 7 REMOVE CEILING - NON ACM DEMOLITION.
- 8 CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
- 9 REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
- 10 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
- 11 INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
- 12 REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
- 13 REMOVE ASBESTOS CONTAINING BOILER BREECING.
- 14 REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
- 15 REMOVE ASBESTOS CONTAINING DUCTWORK.
- 16 REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
- 17 REMOVE ASBESTOS CONTAINING WALL CAULK.

**Jefferson County Courthouse
and Sheriff Building
Courthouse and Sheriff's Building
Renovation & Additions
311 S Center Ave
Jefferson, WI 53549**

2020.01.00

DATE	ISSUANCE/REVISIONS
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**ASBESTOS
ABATEMENT
PLAN -
SECOND FLOOR
- AREA A**

H102A

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F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANIFOLDS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.

G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.

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CHILD SUPPORT

CLERK OF COURTS

DISTRICT ATTORNEY

FAMILY COURT COMMISSIONER

COURTS FURNITURE

STORAGE

FILES

ELEV

ELEV EQUIP

STAIR

UP

DOWN

HALL

VESTIBULE

EVIDENCE STORAGE VESTIBULE

SECURE VESTIBULE

91'-11"

89'-11"

90'-1 1/2"

92'-0"

AH 2

DORM 5

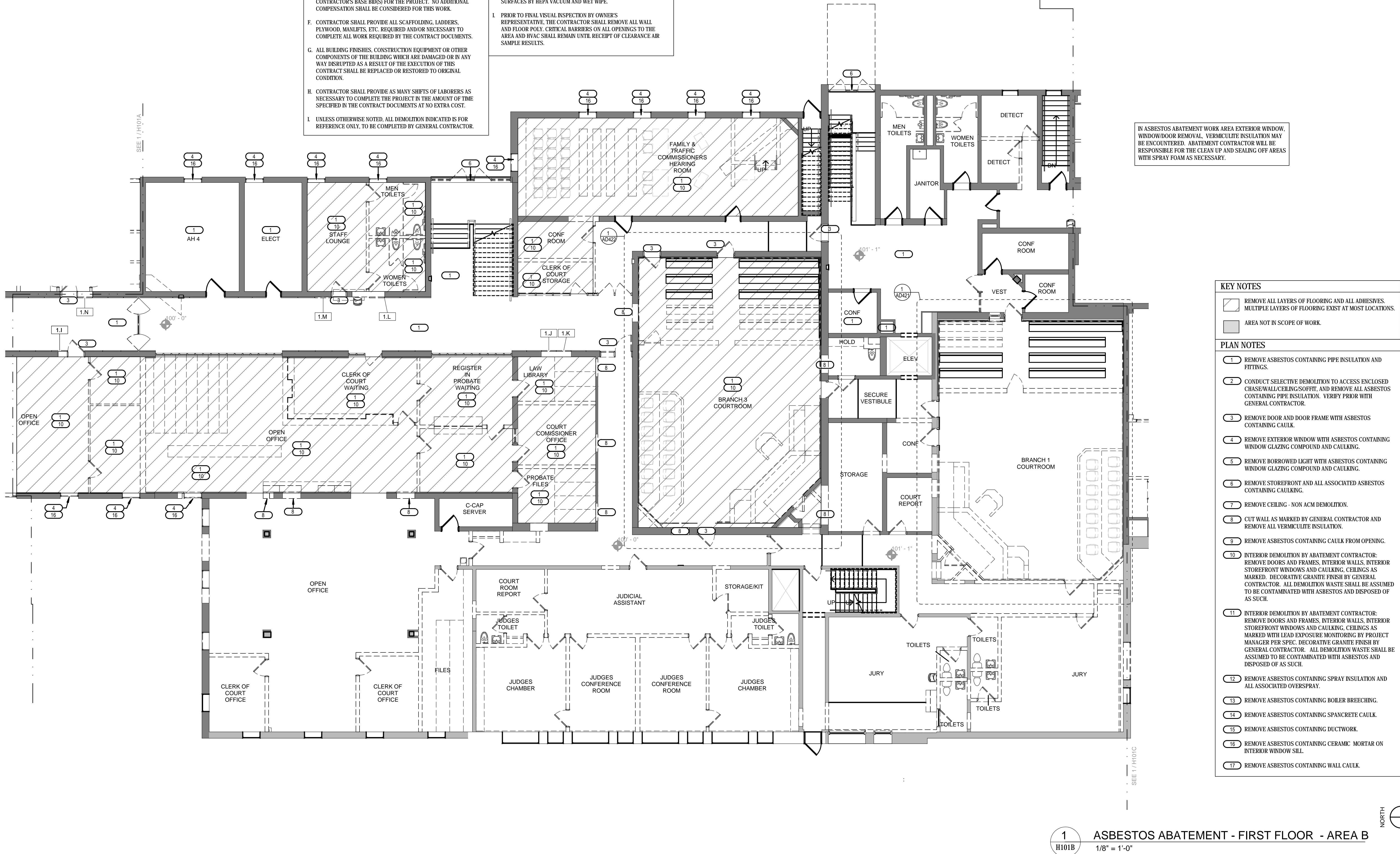
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H100B

GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING GLOVEBOX TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRIABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR PRESENCE IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID/S FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER AND PREEXISTING SITE SURVEY INFORMATION. THE SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA-FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXIST BELOW THE SPRAY-APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEPE) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULATION APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR PAINT. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRIABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS-CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.</p>	<p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPE) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEPE EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>

EMC
Environmental Management Consulting, Inc.
W7748 HWY V
LAKE MILLS, WI 53551
PHONE: (920) 648-6343
FAX: (920) 648-4370



Jefferson County Courthouse
and Sheriff Building
Courthouse and Sheriff's Building
Renovation & Additions
311 S Center Ave
Jefferson, WI 53549

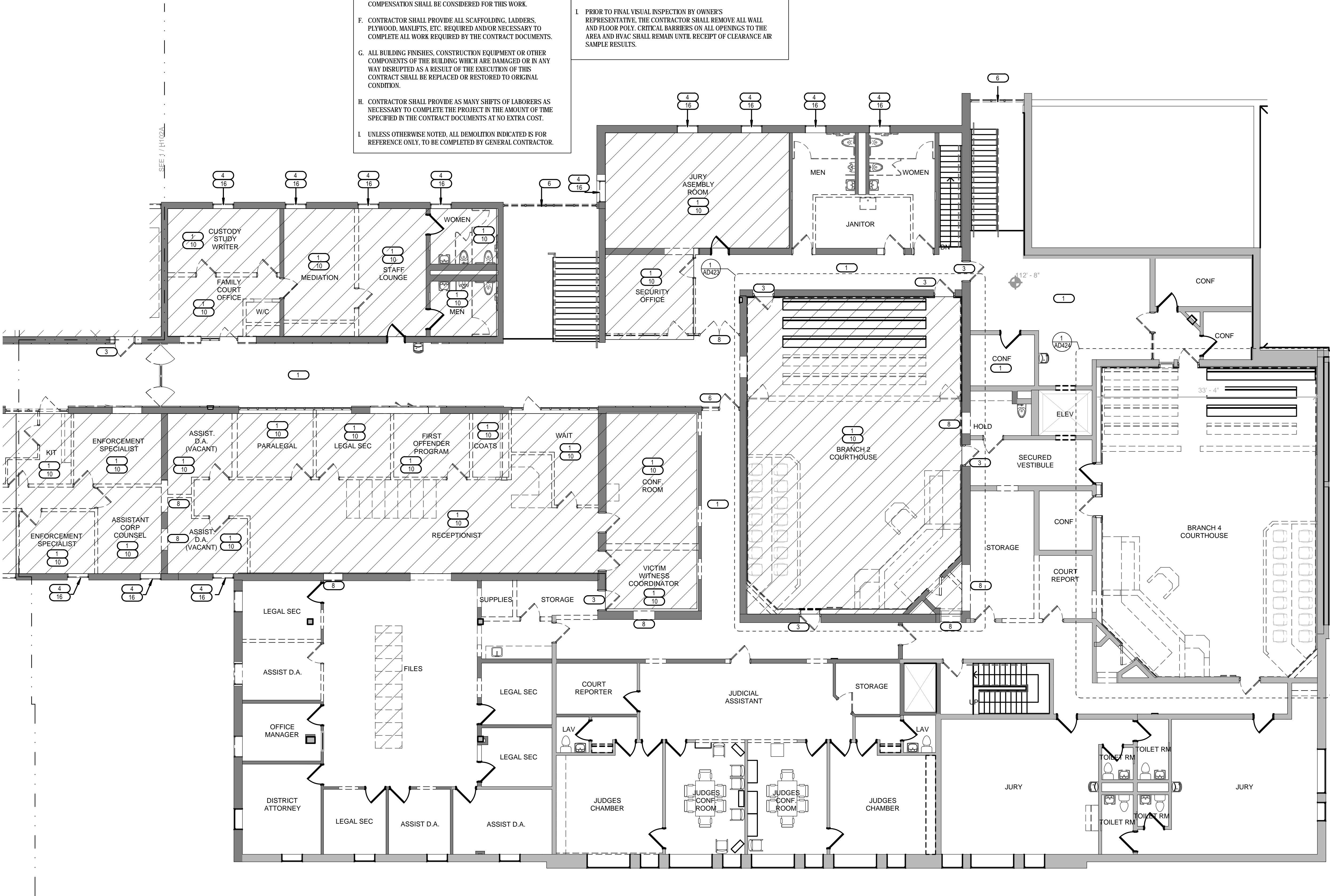
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ISSUANCE/REVISIONS
BID DOCUMENTS

ASBESTOS
ABATEMENT
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FIRST FLOOR
- AREA B

H101B

GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING GLOVE BAG TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TIES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN ON ACN AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND ASSESSING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY-APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIFE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER, THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>



IN ASBESTOS ABATEMENT WORK AREA EXTERIOR WINDOW, WINDOW/DOOR REMOVAL, VERMICULITE INSULATION MAY BE ENCOUNTERED. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE FOR THE CLEAN UP AND SEALING OFF AREAS WITH SPRAY FOAM AS NECESSARY.

KEY NOTES	
	REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
	AREA NOT IN SCOPE OF WORK.
PLAN NOTES	
	REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
	CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFFIT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
	REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
	REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
	REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
	REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
	REMOVE CEILING - NON ACM DEMOLITION.
	CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
	REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
	REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
	REMOVE ASBESTOS CONTAINING BOILER BREECING.
	REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
	REMOVE ASBESTOS CONTAINING DUCTWORK.
	REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
	REMOVE ASBESTOS CONTAINING WALL CAULK.

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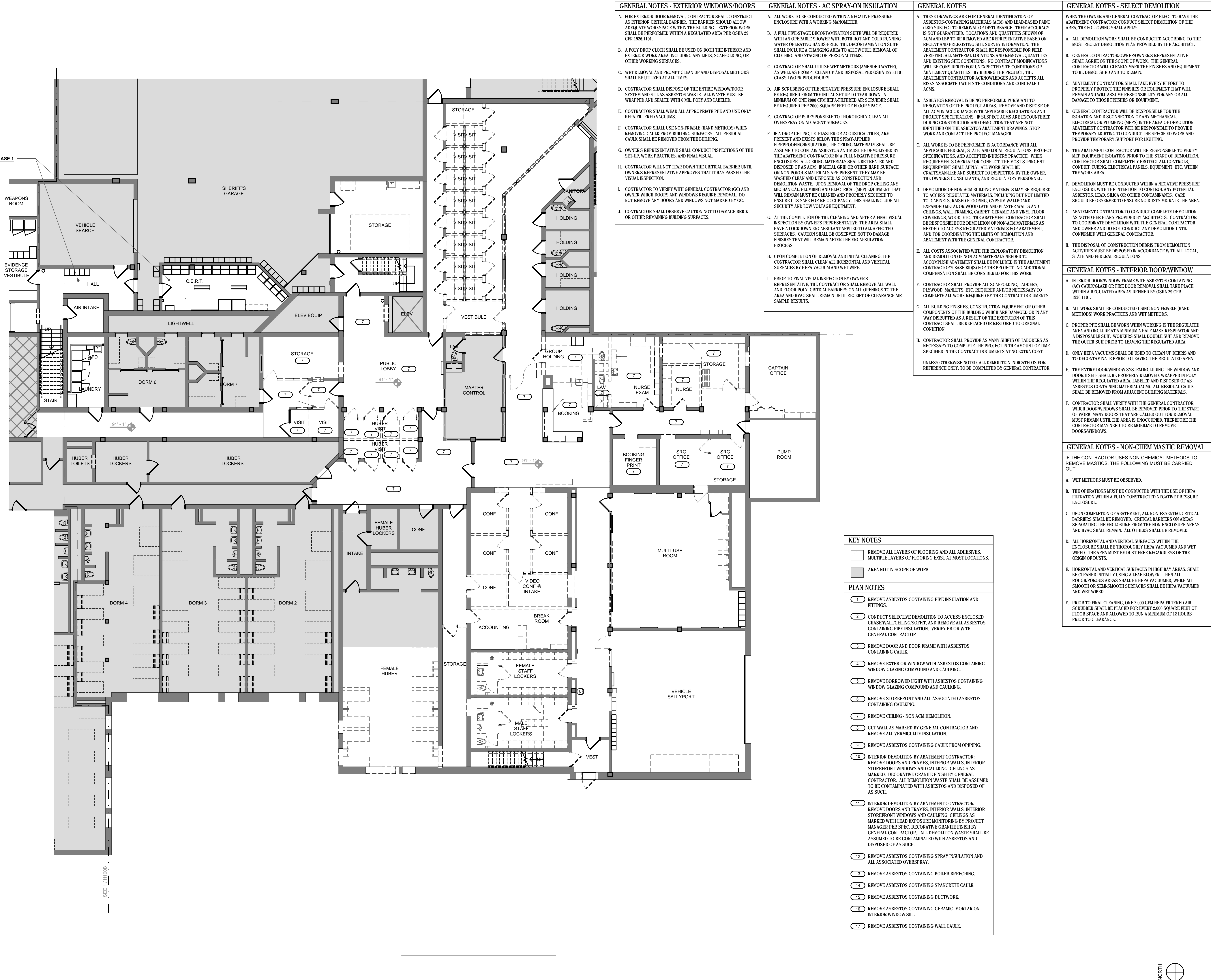
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DATE: 07/25/2022

ISSUANCE/REVISIONS
RD DOCUMENTS

ASBESTOS
ABATEMENT
PLAN -
SECOND FLOOR
- AREA B

H102B



GENERAL NOTES - EXTERIOR WINDOWS/DOORS

- A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.
- B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.
- C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.
- D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL. POLY AND LABELED.
- E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.
- F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.
- G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.
- H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.
- I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.
- J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.

GENERAL NOTES - AC SPRAY-ON INSULATION

- A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.
- B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.
- C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS 1 WORK PROCEDURES.
- D. AIR SCRUBBER OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.
- E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.
- F. IF A DROP CEILING, IE, PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXIST BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL PLUMBING AND ELECTRICAL (MEPE) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.
- G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.
- H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET Wipe.
- I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY, CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.

GENERAL NOTES

- A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PREEXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMs.
- B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMs ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.
- C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.
- D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.
- E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID(S) FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.
- F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANIFETS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.
- I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.

GENERAL NOTES - SELECT DEMOLITION

- WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:
- A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.
- B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.
- C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.
- D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPE) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.
- E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEPE EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.
- F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.
- G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.
- H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

GENERAL NOTES - INTERIOR DOOR/WINDOW

- A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.
- B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.
- C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.
- D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.
- E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.
- F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO BE MOBILIZE TO REMOVE DOORS/WINDOWS.

GENERAL NOTES - NON-CHEM MASTIC REMOVAL

- IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:
- A. WET METHODS MUST BE OBSERVED.
- B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.
- C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.
- D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.
- E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.
- F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.

KEY NOTES

1. REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
2. AREA NOT IN SCOPE OF WORK.

PLAN NOTES

1. REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
2. CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFFIT, AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
3. REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
4. REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
5. REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
6. REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
7. REMOVE CEILING - NON ACM DEMOLITION.
8. CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
9. REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
10. INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
11. INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
12. REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
13. REMOVE ASBESTOS CONTAINING BOILER BREECHING.
14. REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
15. REMOVE ASBESTOS CONTAINING DUCTWORK.
16. REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
17. REMOVE ASBESTOS CONTAINING WALL CAULK.

Jefferson County Courthouse
and Sheriff Building
Courthouse and Sheriff's Building
Renovation & Additions
311 S Center Ave
Jefferson, WI 53549

2020.01.00

DATE 07/25/2022 ISSUANCE/REVISIONS BID DOCUMENTS

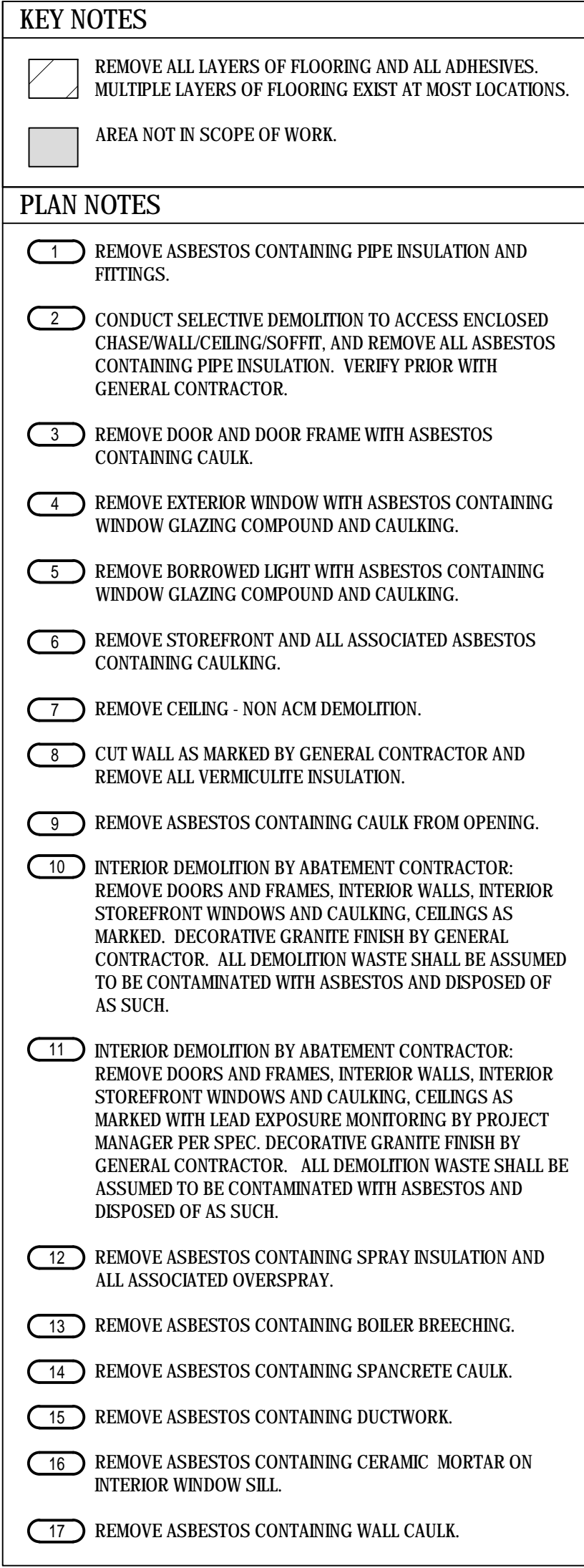
ASBESTOS
ABATEMENT
PLAN
LOWER LEVEL
- AREA C

H100C

EMC
Environmental Management Consulting, Inc.
W7748 HWY V
LAKE MILLS, WI 53551
PHONE: (920) 648-6343
FAX: (920) 648-4370

1
H100C

ASBESTOS ABATEMENT PLAN - LOWER LEVEL - AREA C
1/8" = 1'-0"



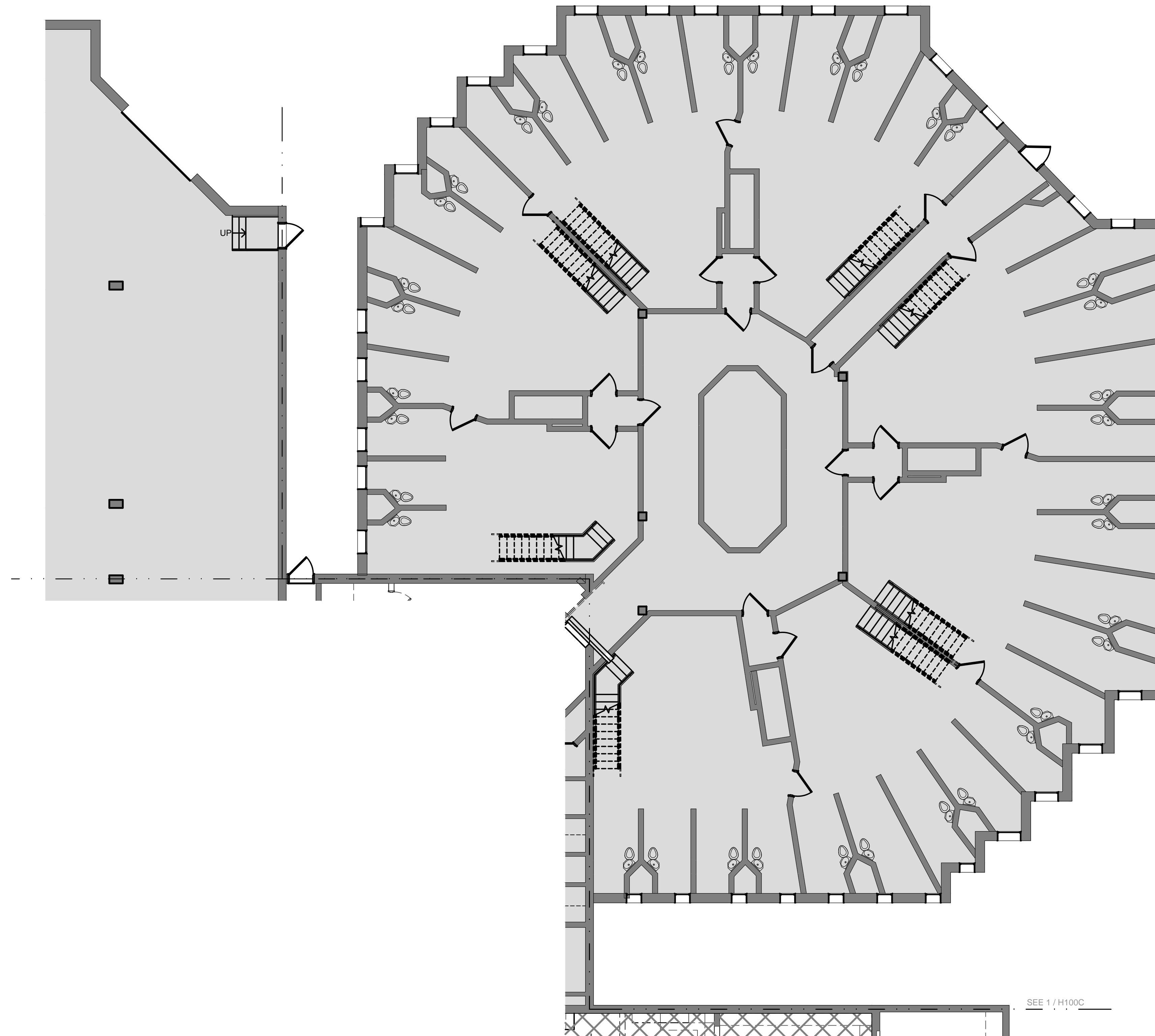
1 ASBESTOS ABATEMENT - FIRST FLOOR - AREA C
H101C 1/8" = 1'-0"

NORTH

[illegible]

H101C

GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES	GENERAL NOTES - SELECT DEMOLITION
<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRILABLE HAND METHODS WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNERS REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNERS REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETHER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS 1 WORK PROCEDURES.</p> <p>D. AIR SCRUBBER OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, IE. PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR OCCUPANCY. THE SILL SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNERS REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULATION APPLIED TO ALL ADJACENT SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNERS REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>A. 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IF SUSPECT ACM ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO: CABINETS, BASED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOL, ETC. 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<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>KEY NOTES</p> <ul style="list-style-type: none"> REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS. AREA NOT IN SCOPE OF WORK. <p>PLAN NOTES</p> <ul style="list-style-type: none"> REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS. </div> <div style="width: 50%;"> <p>GENERAL NOTES - INTERIOR DOOR/WINDOW</p> <p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRILABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL REMOVE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO BE MOBILE TO REMOVE DOORS/WINDOWS.</p> </div> </div>			
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NO WORK ON THIS PLAN

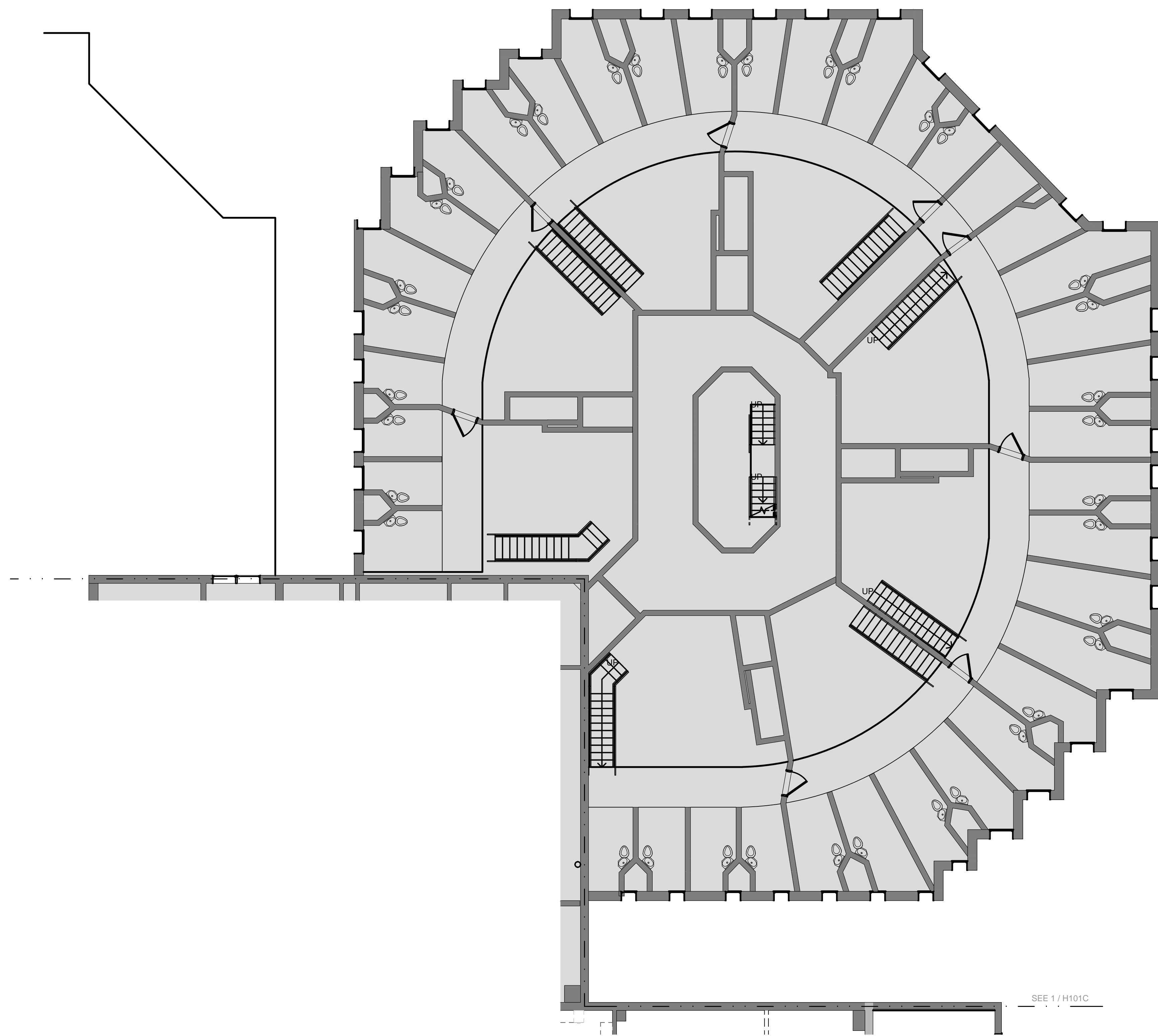
Jefferson County Courthouse
and Sheriff Building
Courthouse and Sheriff's Building
Renovation & Additions
311 S Center Ave
Jefferson, WI 53549

2020.01.00

DATE	ISSUANCE/REVISIONS
07/25/2022	BID DOCUMENTS

ASBESTOS
ABATEMENT
PLAN
LOWER LEVEL
- AREA D





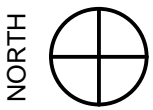
NO WORK ON THIS PLAN

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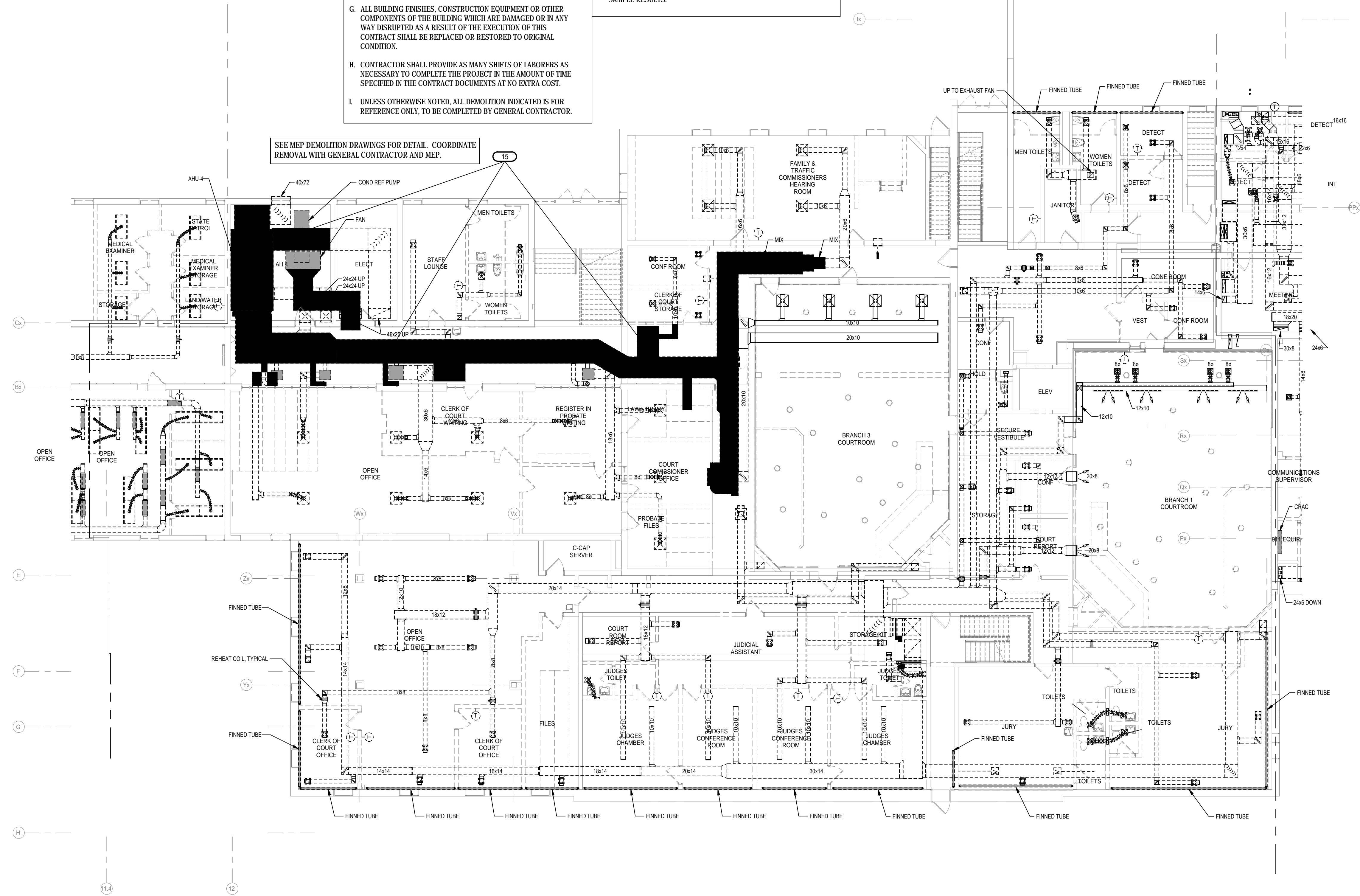
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ASBESTOS
ABATEMENT
PLAN
FIRST FLOOR
- AREA D



GENERAL NOTES - TSI REMOVAL	GENERAL NOTES - EXTERIOR WINDOWS/DOORS	GENERAL NOTES	GENERAL NOTES - AC SPRAY-ON INSULATION	GENERAL NOTES - NON-CHEM MASTIC REMOVAL	GENERAL NOTES - INTERIOR DOOR/WINDOW	GENERAL NOTES - SELECT DEMOLITION
<p>A. CONTRACTOR SHALL CONDUCT THE REMOVAL OF ALL THERMAL SYSTEM INSULATION (TSI) WITHIN A NEGATIVE PRESSURE ENCLOSURE OBSERVING GLOVEBOX TECHNIQUES. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER CMU WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR. DEMOLITION NECESSARY TO ACCESS TSI SHALL BE INCLUDED IN BASE BID.</p> <p>B. A 6 MIL POLY DROP CLOTH SHALL BE PLACED ON THE GROUND BELOW THE REMOVAL ACTIVITIES.</p> <p>C. ANY CEILING TILES BELOW THE REMOVAL ACTIVITIES WITHIN A 4' RADIUS SHALL BE HEPA VACUUMED AFTER THE REMOVAL IS COMPLETED.</p> <p>D. THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED/MOPPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. CONTRACTOR SHALL USE NON-FRABLE (HAND METHODS) WHEN REMOVING CAULK FROM BUILDING SURFACES. ALL RESIDUAL CAULK SHALL BE REMOVED FROM THE BUILDING.</p> <p>G. OWNER'S REPRESENTATIVE SHALL CONDUCT INSPECTIONS OF THE SET-UP, WORK PRACTICES, AND FINAL VISUAL.</p> <p>H. CONTRACTOR WILL NOT TEAR DOWN THE CRITICAL BARRIER UNTIL OWNER'S REPRESENTATIVE APPROVES THAT IT HAS PASSED THE VISUAL INSPECTION.</p> <p>I. CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR (GC) AND OWNER WHICH DOORS AND WINDOWS REQUIRE REMOVAL. DO NOT REMOVE ANY DOORS AND WINDOWS NOT MARKED BY GC.</p> <p>J. CONTRACTOR SHALL OBSERVE CAUTION NOT TO DAMAGE BRICK OR OTHER REMAINING BUILDING SURFACES.</p>	<p>A. THESE DRAWINGS ARE FOR GENERAL IDENTIFICATION OF ASBESTOS CONTAINING MATERIALS (ACM) AND LEAD-BASED PAINT (LBP) SUBJECT TO REMOVAL OR DISTURBANCE. THEIR ACCURACY IS NOT GUARANTEED. LOCATIONS AND QUANTITIES SHOWN OF ACM AND LBP TO BE REMOVED ARE REPRESENTATIVE BASED ON RECENT AND PRE-EXISTING SITE SURVEY INFORMATION. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL MATERIAL LOCATIONS AND REMOVAL QUANTITIES AND EXISTING SITE CONDITIONS. NO CONTRACT MODIFICATIONS WILL BE CONSIDERED FOR UNEXPECTED SITE CONDITIONS OR ABATEMENT QUANTITIES. BY BIDDING THE PROJECT, THE ABATEMENT CONTRACTOR ACKNOWLEDGES AND ACCEPTS ALL RISKS ASSOCIATED WITH SITE CONDITIONS AND CONCEALED ACMS.</p> <p>B. ASBESTOS REMOVAL IS BEING PERFORMED PURSUANT TO RENOVATION OF THE PROJECT AREAS. REMOVE AND DISPOSE OF ALL ACM IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PROJECT SPECIFICATIONS. IF SUSPECT ACMS ARE ENCOUNTERED DURING CONSTRUCTION AND DEMOLITION THAT ARE NOT IDENTIFIED ON THE ASBESTOS ABATEMENT DRAWINGS, STOP WORK AND CONTACT THE PROJECT MANAGER.</p> <p>C. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, PROJECT SPECIFICATIONS, AND ACCEPTED INDUSTRY PRACTICE. WHEN REQUIREMENTS OVERLAP OR CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL APPLY. ALL WORK SHALL BE CRAFTSMAN-LIKE AND SUBJECT TO INSPECTION BY THE OWNER, THE OWNER'S CONSULTANTS, AND REGULATORY PERSONNEL.</p> <p>D. DEMOLITION OF NON-ACM BUILDING MATERIALS MAY BE REQUIRED TO ACCESS REGULATED MATERIALS, INCLUDING BUT NOT LIMITED TO, CABINETS, RAISED FLOORING, GYPSUM WALLBOARD, EXPANDED METAL OR WOOD LATH AND PLASTER WALLS AND CEILINGS, WALL FRAMING, CARPET, CERAMIC AND VINYL FLOOR COVERINGS, WOOD, ETC. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF NON-ACM MATERIALS AS NEEDED TO ACCESS REGULATED MATERIALS FOR ABATEMENT, AND FOR COORDINATING THE LIMITS OF DEMOLITION AND ABATEMENT WITH THE GENERAL CONTRACTOR.</p> <p>E. ALL COSTS ASSOCIATED WITH THE EXPLORATORY DEMOLITION AND DEMOLITION OF NON-ACM MATERIALS NEEDED TO ACCOMPLISH ABATEMENT SHALL BE INCLUDED IN THE ABATEMENT CONTRACTOR'S BASE BID(S) FOR THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR THIS WORK.</p> <p>F. CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANIFETS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS-FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (AMENDED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRIBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY, CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPE. THE AREA MUST BE FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS SHALL BE CLEANED INITIALLY USING A LEAF BLOWER. THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPE.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>



1 H111B ASBESTOS ABATEMENT DUCTWORK PLAN - FIRST FLOOR - AREA B NOT TO SCALE

- KEY NOTES

REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.

AREA NOT IN SCOPE OF WORK.
- PLAN NOTES

1

REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.

2

CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFT. AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.

3

REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.

4

REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.

5

REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.

6

REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.

7

REMOVE CEILING - NON ACM DEMOLITION.

8

CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.

9

REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.

10

INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING. CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.

11

INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING. CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.

12

REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.

13

REMOVE ASBESTOS CONTAINING BOILER BREECHING.

14

REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.

15

REMOVE ASBESTOS CONTAINING DUCTWORK.

16

REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.

17

REMOVE ASBESTOS CONTAINING WALL CAULK.

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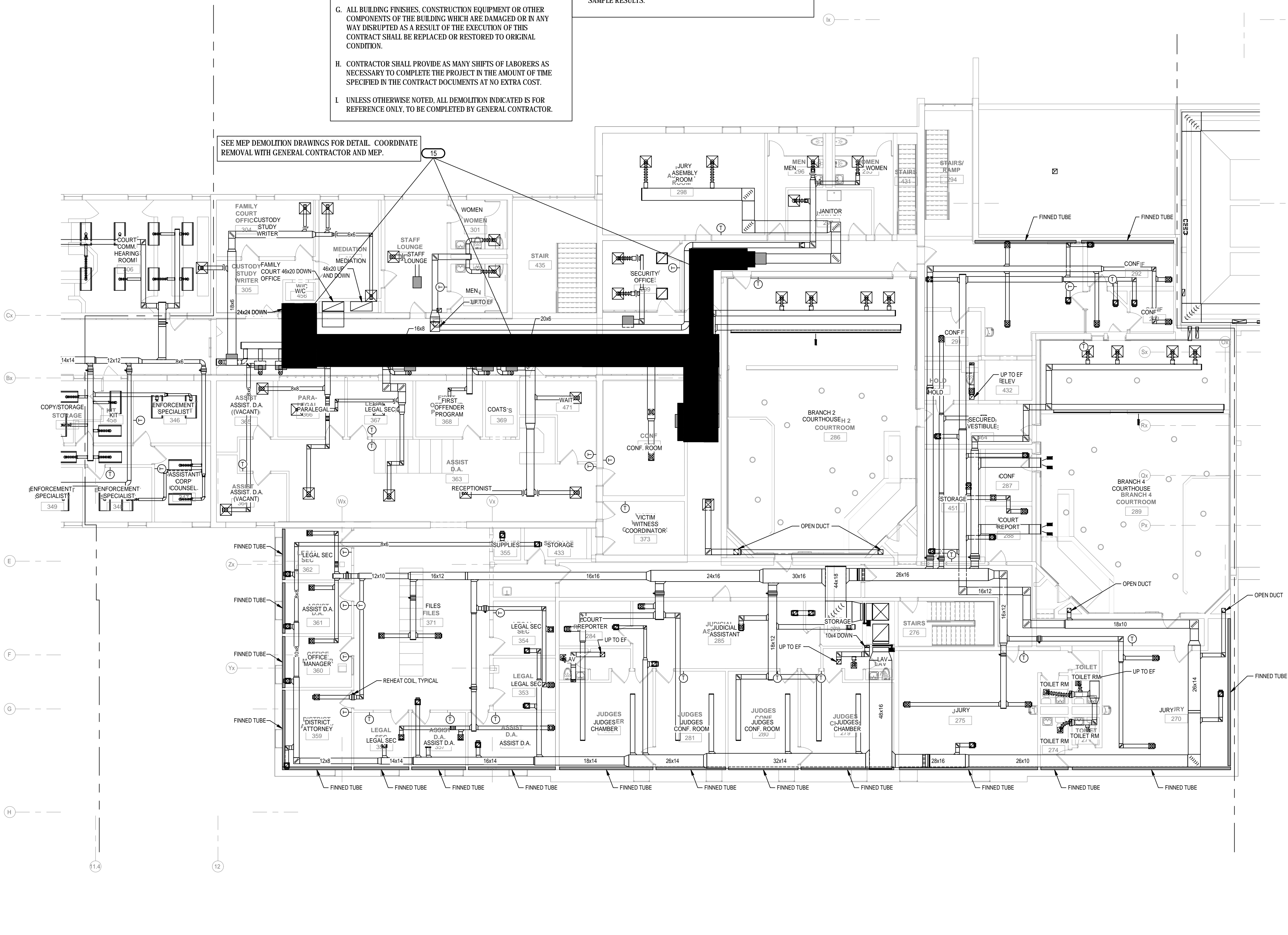
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THE PIPING MUST BE FREE OF ANY RESIDUAL ACM PRIOR TO THE APPLICATION OF A PENETRATING ENCAPSULANT.</p> <p>E. UPON REMOVAL OF THE POLY DROP CLOTH, THE FLOOR SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPE/DAMPED, IF FEASIBLE.</p>	<p>A. FOR EXTERIOR DOOR REMOVAL, CONTRACTOR SHALL CONSTRUCT AN INTERIOR CRITICAL BARRIER. THE BARRIER SHOULD ALLOW ADEQUATE WORKSPACE WITHIN THE BUILDING. EXTERIOR WORK SHALL BE PERFORMED WITHIN A REGULATED AREA PER OSHA 29 CFR 1926.1101.</p> <p>B. A POLY DROP CLOTH SHALL BE USED ON BOTH THE INTERIOR AND EXTERIOR WORK AREA, INCLUDING ANY LIFTS, SCAFFOLDING, OR OTHER WORKING SURFACES.</p> <p>C. WET REMOVAL AND PROMPT CLEAN UP AND DISPOSAL METHODS SHALL BE UTILIZED AT ALL TIMES.</p> <p>D. CONTRACTOR SHALL DISPOSE OF THE ENTIRE WINDOW/DOOR SYSTEM AND SILL AS ASBESTOS WASTE. ALL WASTE MUST BE WRAPPED AND SEALED WITH 6 MIL POLY AND LABELED.</p> <p>E. CONTRACTOR SHALL WEAR ALL APPROPRIATE PPE AND USE ONLY HEPA-FILTERED VACUUMS.</p> <p>F. 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CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, LADDERS, PLYWOOD, MANLIFTS, ETC. REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>G. ALL BUILDING FINISHES, CONSTRUCTION EQUIPMENT OR OTHER COMPONENTS OF THE BUILDING WHICH ARE DAMAGED OR IN ANY WAY DISRUPTED AS A RESULT OF THE EXECUTION OF THIS CONTRACT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.</p> <p>H. CONTRACTOR SHALL PROVIDE AS MANY SHIFTS OF LABORERS AS NECESSARY TO COMPLETE THE PROJECT IN THE AMOUNT OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AT NO EXTRA COST.</p> <p>I. UNLESS OTHERWISE NOTED, ALL DEMOLITION INDICATED IS FOR REFERENCE ONLY, TO BE COMPLETED BY GENERAL CONTRACTOR.</p>	<p>A. ALL WORK TO BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH A WORKING MANOMETER.</p> <p>B. A FULL FIVE-STAGE DECONTAMINATION SUITE WILL BE REQUIRED WITH AN OPERABLE SHOWER WITH BOTH HOT AND COLD RUNNING WATER OPERATING HANDS FREE. THE DECONTAMINATION SUITE SHALL INCLUDE A CHANGING AREA TO ALLOW FULL REMOVAL OF CLOTHING AND STAGING OF PERSONAL ITEMS.</p> <p>C. CONTRACTOR SHALL UTILIZE WET METHODS (MISTED WATER), AS WELL AS PROMPT CLEAN UP AND DISPOSAL PER OSHA 1926.1101 CLASS I WORK PROCEDURES.</p> <p>D. AIR SCRUBBING OF THE NEGATIVE PRESSURE ENCLOSURE SHALL BE REQUIRED FROM THE INITIAL SET UP TO TEAR DOWN. A MINIMUM OF ONE 2000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE REQUIRED PER 2000 SQUARE FEET OF FLOOR SPACE.</p> <p>E. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY CLEAN ALL OVERSPRAY ON ADJACENT SURFACES.</p> <p>F. IF A DROP CEILING, I.E. PLASTER OR ACOUSTICAL TILES, ARE PRESENT AND EXISTS BELOW THE SPRAY APPLIED FIREPROOFING/INSULATION, THE CEILING MATERIALS SHALL BE ASSUMED TO CONTAIN ASBESTOS AND MUST BE DEMOLISHED BY THE ABATEMENT CONTRACTOR IN A FULL NEGATIVE PRESSURE ENCLOSURE. ALL CEILING MATERIALS SHALL BE TREATED AND DISPOSED OF AS ACM. IF METAL GRID OR OTHER HARD SURFACE OR NON-POROUS MATERIALS ARE PRESENT, THEY MAY BE WASHED CLEAN AND DISPOSED AS CONSTRUCTION AND DEMOLITION WASTE. UPON REMOVAL OF THE DROP CEILING ANY MECHANICAL, PLUMBING AND ELECTRICAL (MEP) EQUIPMENT THAT WILL REMAIN MUST BE CLEANED AND PROPERLY SECURED TO ENSURE IT IS SAFE FOR RE-OCCUPANCY. THIS SHALL INCLUDE ALL SECURITY AND LOW VOLTAGE EQUIPMENT.</p> <p>G. AT THE COMPLETION OF THE CLEANING AND AFTER A FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE AREA SHALL HAVE A LOCKDOWN ENCAPSULANT APPLIED TO ALL AFFECTED SURFACES. CAUTION SHALL BE OBSERVED NOT TO DAMAGE FINISHES THAT WILL REMAIN AFTER THE ENCAPSULATION PROCESS.</p> <p>H. UPON COMPLETION OF REMOVAL AND INITIAL CLEANING, THE CONTRACTOR SHALL CLEAN ALL HORIZONTAL AND VERTICAL SURFACES BY HEPA VACUUM AND WET WIPE.</p> <p>I. PRIOR TO FINAL VISUAL INSPECTION BY OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REMOVE ALL WALL AND FLOOR POLY. CRITICAL BARRIERS ON ALL OPENINGS TO THE AREA AND HVAC SHALL REMAIN UNTIL RECEIPT OF CLEARANCE AIR SAMPLE RESULTS.</p>	<p>IF THE CONTRACTOR USES NON-CHEMICAL METHODS TO REMOVE MASTICS, THE FOLLOWING MUST BE CARRIED OUT:</p> <p>A. WET METHODS MUST BE OBSERVED.</p> <p>B. THE OPERATIONS MUST BE CONDUCTED WITH THE USE OF HEPA FILTRATION WITHIN A FULLY CONSTRUCTED NEGATIVE PRESSURE ENCLOSURE.</p> <p>C. UPON COMPLETION OF ABATEMENT, ALL NON-ESSENTIAL CRITICAL BARRIERS SHALL BE REMOVED. CRITICAL BARRIERS ON AREAS SEPARATING THE ENCLOSURE FROM THE NON-ENCLOSURE AREAS AND HVAC SHALL REMAIN. ALL OTHERS SHALL BE REMOVED.</p> <p>D. ALL HORIZONTAL AND VERTICAL SURFACES WITHIN THE ENCLOSURE SHALL BE THOROUGHLY HEPA VACUUMED AND WET WIPED. THE AREA MUST BE DUST-FREE REGARDLESS OF THE ORIGIN OF DUSTS.</p> <p>E. HORIZONTAL AND VERTICAL SURFACES IN HIGH BAY AREAS, SHALL BE CLEANED INITIALLY USING A LEAF BLOWER, THEN ALL ROUGH/POROUS AREAS SHALL BE HEPA VACUUMED, WHILE ALL SMOOTH OR SEMI-SMOOTH SURFACES SHALL BE HEPA VACUUMED AND WET WIPED.</p> <p>F. PRIOR TO FINAL CLEANING, ONE 2,000 CFM HEPA FILTERED AIR SCRUBBER SHALL BE PLACED FOR EVERY 2,000 SQUARE FEET OF FLOOR SPACE AND ALLOWED TO RUN A MINIMUM OF 12 HOURS PRIOR TO CLEARANCE.</p>	<p>A. INTERIOR DOOR/WINDOW FRAME WITH ASBESTOS CONTAINING (AC) CAULK/GLAZE OR FIRE DOOR REMOVAL SHALL TAKE PLACE WITHIN A REGULATED AREA AS DEFINED BY OSHA 29 CFR 1926.1101.</p> <p>B. ALL WORK SHALL BE CONDUCTED USING NON-FRIABLE (HAND METHODS) WORK PRACTICES AND WET METHODS.</p> <p>C. PROPER PPE SHALL BE WORN WHEN WORKING IN THE REGULATED AREA AND INCLUDE AT A MINIMUM A HALF-MASK RESPIRATOR AND A DISPOSABLE SUIT. WORKERS SHALL DOUBLE SUIT AND REMOVE THE OUTER SUIT PRIOR TO LEAVING THE REGULATED AREA.</p> <p>D. ONLY HEPA VACUUMS SHALL BE USED TO CLEAN UP DEBRIS AND TO DECONTAMINATE PRIOR TO LEAVING THE REGULATED AREA.</p> <p>E. THE ENTIRE DOOR/WINDOW SYSTEM INCLUDING THE WINDOW AND DOOR ITSELF SHALL BE PROPERLY REMOVED, WRAPPED IN POLY WITHIN THE REGULATED AREA, LABELED AND DISPOSED OF AS ASBESTOS CONTAINING MATERIAL (ACM). ALL RESIDUAL CAULK SHALL BE REMOVED FROM ADJACENT BUILDING MATERIALS.</p> <p>F. CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHICH DOOR/WINDOWS SHALL BE REMOVED PRIOR TO THE START OF WORK. MANY DOORS THAT ARE CALLED OUT FOR REMOVAL MUST REMAIN UNTIL THE AREA IS UNOCCUPIED. THEREFORE THE CONTRACTOR MAY NEED TO RE-MOBILIZE TO REMOVE DOORS/WINDOWS.</p>	<p>WHEN THE OWNER AND GENERAL CONTRACTOR ELECT TO HAVE THE ABATEMENT CONTRACTOR CONDUCT SELECT DEMOLITION OF THE AREA, THE FOLLOWING SHALL APPLY:</p> <p>A. ALL DEMOLITION WORK SHALL BE CONDUCTED ACCORDING TO THE MOST RECENT DEMOLITION PLAN PROVIDED BY THE ARCHITECT.</p> <p>B. GENERAL CONTRACTOR/OWNER/OWNER'S REPRESENTATIVE SHALL AGREE ON THE SCOPE OF WORK. THE GENERAL CONTRACTOR WILL CLEARLY MARK THE FINISHES AND EQUIPMENT TO BE DEMOLISHED AND TO REMAIN.</p> <p>C. ABATEMENT CONTRACTOR SHALL TAKE EVERY EFFORT TO PROPERLY PROTECT THE FINISHES OR EQUIPMENT THAT WILL REMAIN AND WILL ASSUME RESPONSIBILITY FOR ANY OR ALL DAMAGE TO THOSE FINISHES OR EQUIPMENT.</p> <p>D. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE ISOLATION AND DISCONNECTION OF ANY MECHANICAL, ELECTRICAL OR PLUMBING (MEPS) IN THE AREA OF DEMOLITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING TO CONDUCT THE SPECIFIED WORK AND PROVIDE TEMPORARY SUPPORT FOR LIGHTING.</p> <p>E. THE ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO VERIFY MEP EQUIPMENT ISOLATION PRIOR TO THE START OF DEMOLITION. CONTRACTOR SHALL COMPLETELY PROTECT ALL CONTROLS, CONDUIT, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.</p> <p>F. DEMOLITION MUST BE CONDUCTED WITHIN A NEGATIVE PRESSURE ENCLOSURE WITH THE INTENTION TO CONTROL ANY POTENTIAL ASBESTOS, LEAD, SILICA OR OTHER CONTAMINANTS. CARE SHOULD BE OBSERVED TO ENSURE NO DUSTS MIGRATE THE AREA.</p> <p>G. ABATEMENT CONTRACTOR TO CONDUCT COMPLETE DEMOLITION AS NOTED PER PLANS PROVIDED BY ARCHITECTS. CONTRACTOR TO COORDINATE DEMOLITION WITH THE GENERAL CONTRACTOR AND OWNER AND DO NOT CONDUCT ANY DEMOLITION UNTIL CONFIRMED WITH GENERAL CONTRACTOR.</p> <p>H. THE DISPOSAL OF CONSTRUCTION DEBRIS FROM DEMOLITION ACTIVITIES MUST BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.</p>

EMC
Environmental Management Consulting, Inc.
W7748 HWY V
LAKE MILLS, WI 53551
PHONE: (920) 648-6343
FAX: (920) 648-4370



KEY NOTES	
	REMOVE ALL LAYERS OF FLOORING AND ALL ADHESIVES. MULTIPLE LAYERS OF FLOORING EXIST AT MOST LOCATIONS.
	AREA NOT IN SCOPE OF WORK.
PLAN NOTES	
1	REMOVE ASBESTOS CONTAINING PIPE INSULATION AND FITTINGS.
2	CONDUCT SELECTIVE DEMOLITION TO ACCESS ENCLOSED CHASE/WALL/CEILING/SOFT. AND REMOVE ALL ASBESTOS CONTAINING PIPE INSULATION. VERIFY PRIOR WITH GENERAL CONTRACTOR.
3	REMOVE DOOR AND DOOR FRAME WITH ASBESTOS CONTAINING CAULK.
4	REMOVE EXTERIOR WINDOW WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
5	REMOVE BORROWED LIGHT WITH ASBESTOS CONTAINING WINDOW GLAZING COMPOUND AND CAULKING.
6	REMOVE STOREFRONT AND ALL ASSOCIATED ASBESTOS CONTAINING CAULKING.
7	REMOVE CEILING - NON ACM DEMOLITION.
8	CUT WALL AS MARKED BY GENERAL CONTRACTOR AND REMOVE ALL VERMICULITE INSULATION.
9	REMOVE ASBESTOS CONTAINING CAULK FROM OPENING.
10	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
11	INTERIOR DEMOLITION BY ABATEMENT CONTRACTOR: REMOVE DOORS AND FRAMES, INTERIOR WALLS, INTERIOR STOREFRONT WINDOWS AND CAULKING, CEILINGS AS MARKED WITH LEAD EXPOSURE MONITORING BY PROJECT MANAGER PER SPEC. DECORATIVE GRANITE FINISH BY GENERAL CONTRACTOR. ALL DEMOLITION WASTE SHALL BE ASSUMED TO BE CONTAMINATED WITH ASBESTOS AND DISPOSED OF AS SUCH.
12	REMOVE ASBESTOS CONTAINING SPRAY INSULATION AND ALL ASSOCIATED OVERSPRAY.
13	REMOVE ASBESTOS CONTAINING BOILER BREECING.
14	REMOVE ASBESTOS CONTAINING SPANCRETE CAULK.
15	REMOVE ASBESTOS CONTAINING DUCTWORK.
16	REMOVE ASBESTOS CONTAINING CERAMIC MORTAR ON INTERIOR WINDOW SILL.
17	REMOVE ASBESTOS CONTAINING WALL CAULK.

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2020.01.00

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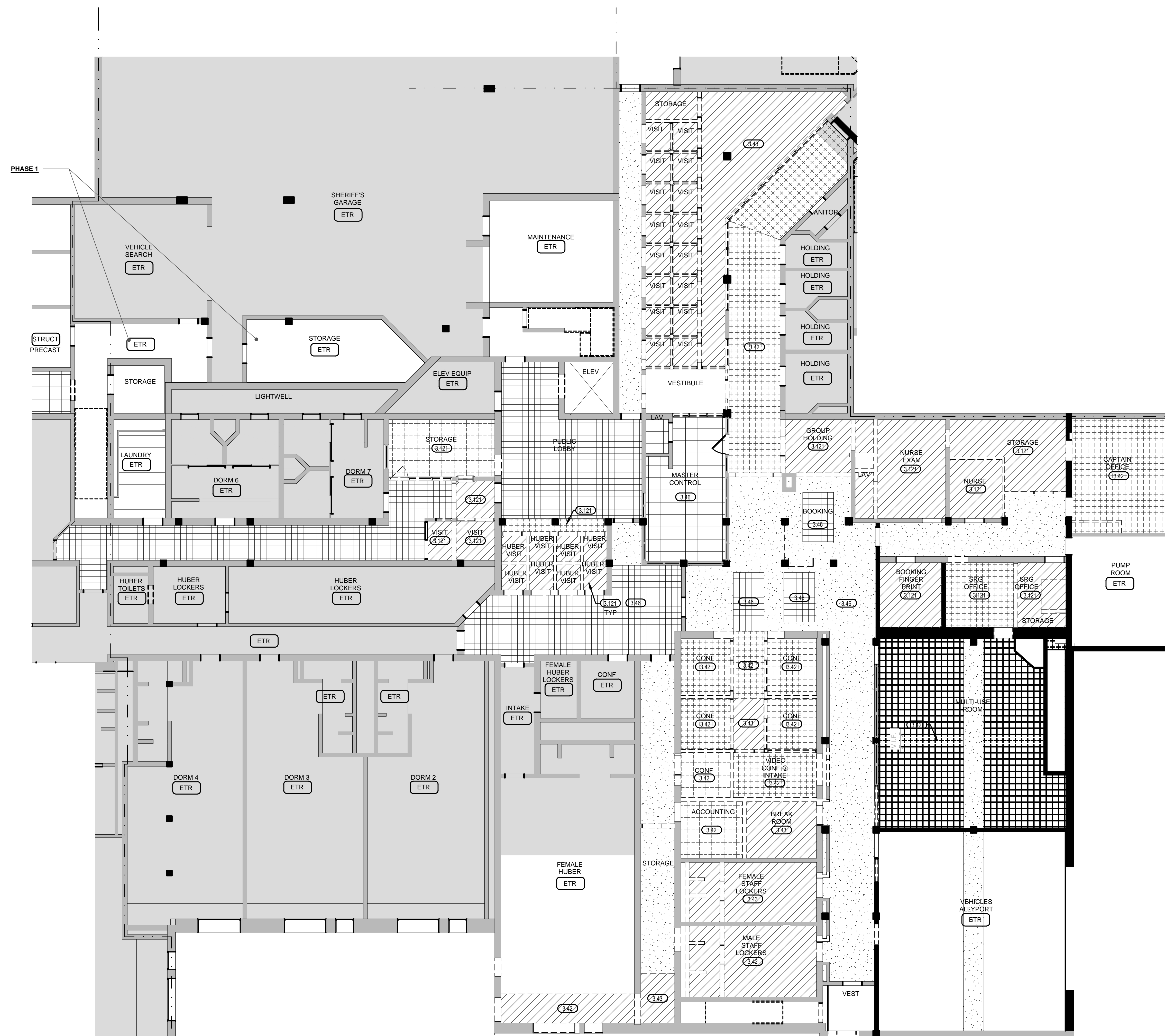
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ASBESTOS
ABATEMENT
DUCTWORK
PLAN -
SECOND FLOOR
- AREA A

H112B

1
H112B

SECOND FLOOR HVAC DUCTWORK DEMOLITION PLAN - AREA B
NOT TO SCALE



GENERAL DEMOLITION NOTES:

1. GENERAL CONTRACTOR (GC) SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
2. GC AND SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION CONTAINED IN THEIR WORK MAY BE INDICATED OR DESCRIBED IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS
3. GENERAL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROVIDING ALL DEMOLITION AND PATCHING WORK REQUIRED TO COMPLETE THEIR WORK IN ACCORDANCE WITH THE DESIGN INTENT, WHETHER FULLY INDICATED OR NOT IN THE CONTRACT DOCUMENTS.
4. THESE DEMOLITION DRAWINGS HAVE BEEN PREPARED BASED UPON THE EXISTING CONDITION OF THE WORK AND THE DRAWINGS AND FIELD OBSERVATIONS. THE EXACT LOCATION OF THE BUILDING STRUCTURAL ELEMENTS (COLUMNS, BEAMS, LOAD BEARING WALLS, ETC.) MAY BE DIFFERENT FROM THE FIELD THAN WHAT IS INDICATED OR ASSUMED ON THESE DRAWINGS. GC SHALL FIELD VERIFY THE LOCATION OF ALL BUILDING STRUCTURAL ELEMENTS. ALL BUILDING STRUCTURAL ELEMENTS REMAINING UNLESS OTHERWISE INDICATED TO BE REMOVED ON THE BUILDING STRUCTURAL DRAWINGS. ANY BUILDING STRUCTURAL ELEMENT INDICATED AS BEING REMOVED ON THIS DRAWING SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO COMMENCING DEMOLITION.
5. PROVIDE NEW UNTELS AT NEW OPENINGS IN EXISTING WALLS. SEE STRUCTURAL DRAWINGS FOR INFORMATION ON UNTELS.
6. REPLACE OR REPAIR ANY EXISTING CONSTRUCTION SCHEDULED TO REMAIN WHICH IS DAMAGED DURING DEMOLITION.
7. GENERAL CONTRACTOR SHALL PROVIDE REQUIRED SHORING OR TEMPORARY BRACING DURING DEMOLITION CONSTRUCTION.
8. REMOVE EXISTING CEILINGS AND SUPPORTS WHERE ANY CEILINGS ARE SCHEDULED IN THE ROOM FINISH SCHEDULE.
9. REMOVE PARTITIONS, SHELVING, CABINETS AND ALL MISCELLANEOUS ITEMS SHOWN WITH DASHED LINES.
10. PATCH ALL FLOORS, WALLS, BEAMS AND CEILINGS WHERE PARTITIONS, OR MISCELLANEOUS ITEMS ARE REMOVED.
11. REMOVE DOORS, FRAMES AND SIGHTLITS SHOWN WITH DASHED LINES, UNLESS OTHERWISE NOTED.
12. REMOVE EXISTING FLOORING WHERE NEW FLOORING IS SCHEDULED IN THE FINISH FLOOR PLAN. PREPARE EXISTING FLOOR SURFACES TO RECEIVE NEW FLOORING.
13. REMOVE EXISTING WALL COVERINGS FROM PARTITIONS SCHEDULE TO REMAIN WHERE NEW WALL COVERINGS OR FINISHES ARE SHOWN ON THE ROOM FINISH DRAWINGS. PATCH OR REPLACE EXISTING WALL COVERINGS WHERE A RESULT OF VANDALISM OR COVERING REMOVAL. PREPARE SURFACES TO RECEIVE NEW WALL FINISHES.
14. REMOVE BASE FROM EXISTING WALLS AND EXISTING PARTITIONS SCHEDULED TO REMAIN, WHERE NEW BASE IS SCHEDULED IN THE ROOM FINISH SCHEDULE. PREPARE EXISTING SURFACES TO RECEIVE NEW BASE.
15. REMOVE PLUMBING FIXTURES, TOILET PARTITIONS AND GRAB BARS SHOWN WITH DASHED LINES. REMOVE PLUMBING CONSTRUCTION SCHEDULED TO REMAIN. REFER TO PLUMBING DEMO PLANS.
16. REMOVE AND SALVAGE DATE STONES WHERE IMPACTED BY NEW ADDITIONS. FINAL LOCATION TO BE DETERMINED.

GENERAL PLAN NOTES:

AREA NOT IN SCOPE

KEYNOTE LEGEND	
3.42	REMOVE EXISTING CEILING TILES AND GRID.
3.43	REMOVE EXISTING GWB OR PLASTER CEILING.
3.46	REMOVE CEILING AS REQUIRED FOR NEW MECHANICAL WORK.
3.121	CEILING REMOVAL BY ABATEMENT CONTRACTOR.

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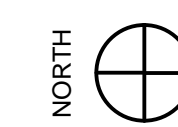
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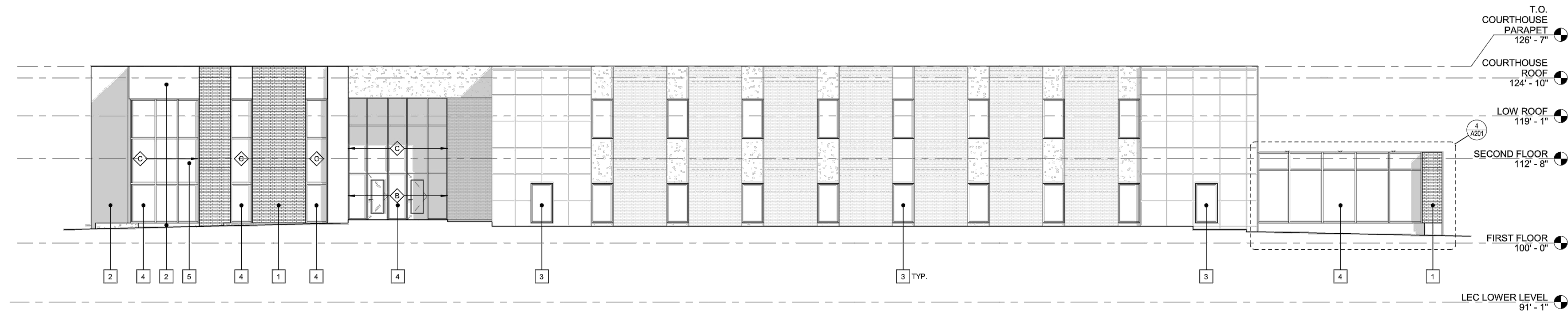
LOWER LEVEL
DEMOLITION
REFLECTED
CEILING PLAN -
AREA C

H1 10CR

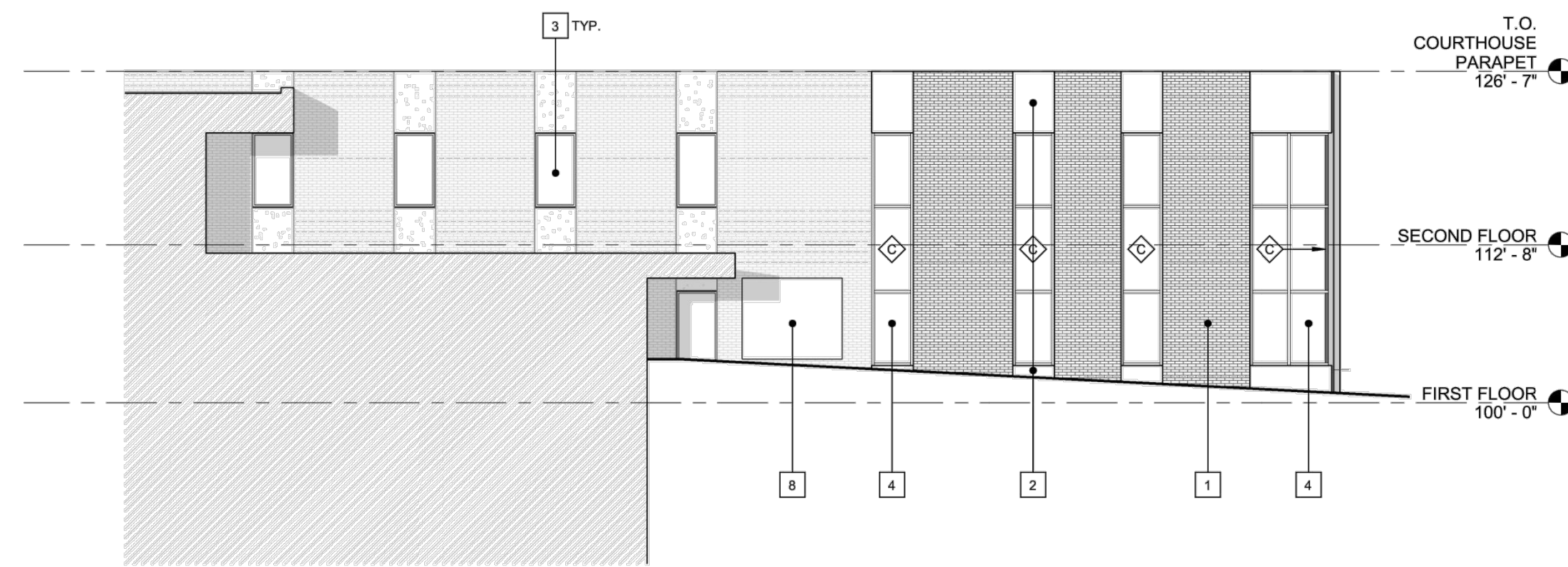
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LOWER LEVEL DEMOLITION REFLECTED
CEILING PLAN - AREA C
1/8" = 1'-0"

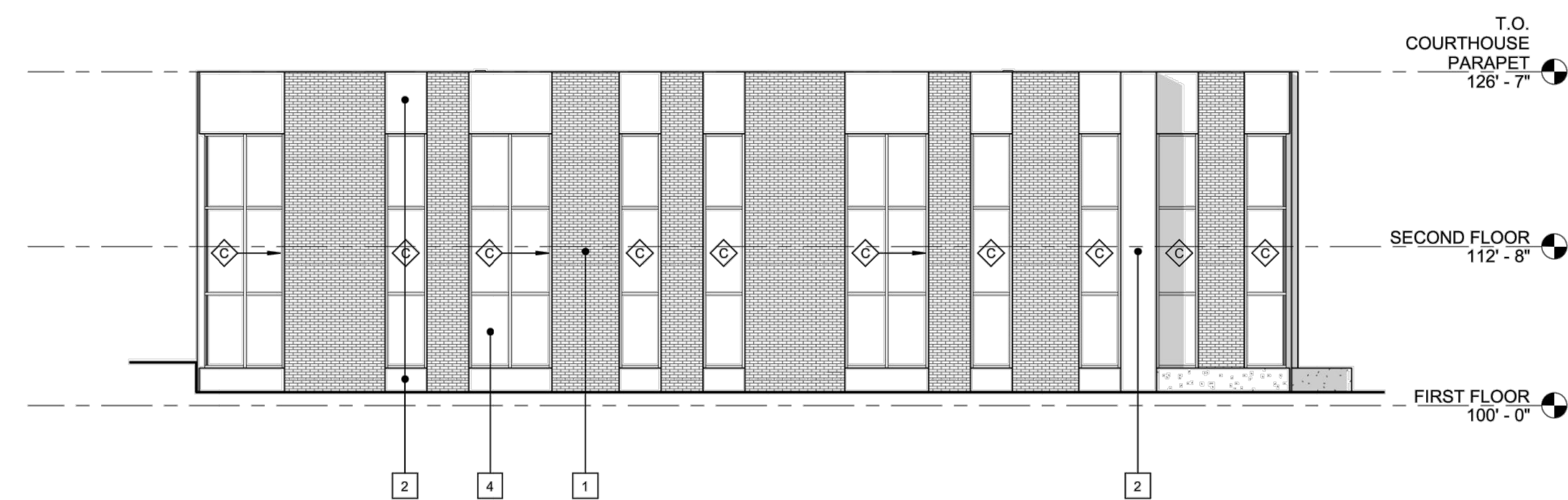




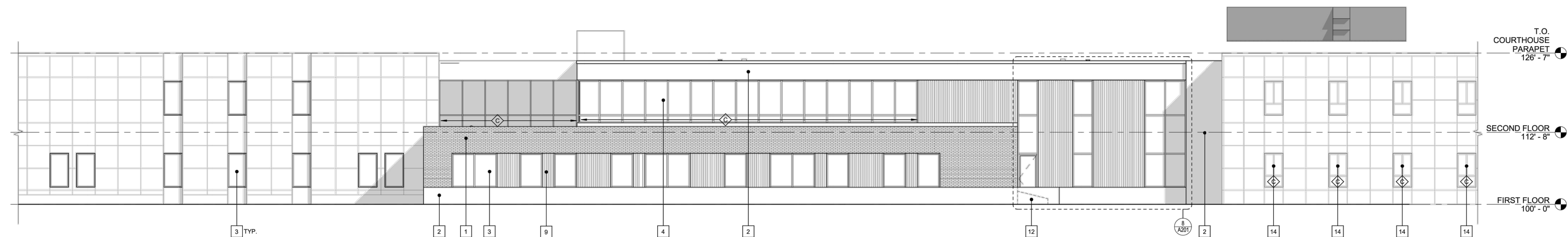
1
 A201
COURTHOUSE NORTH ELEVATION
 1/8" = 1'-0"



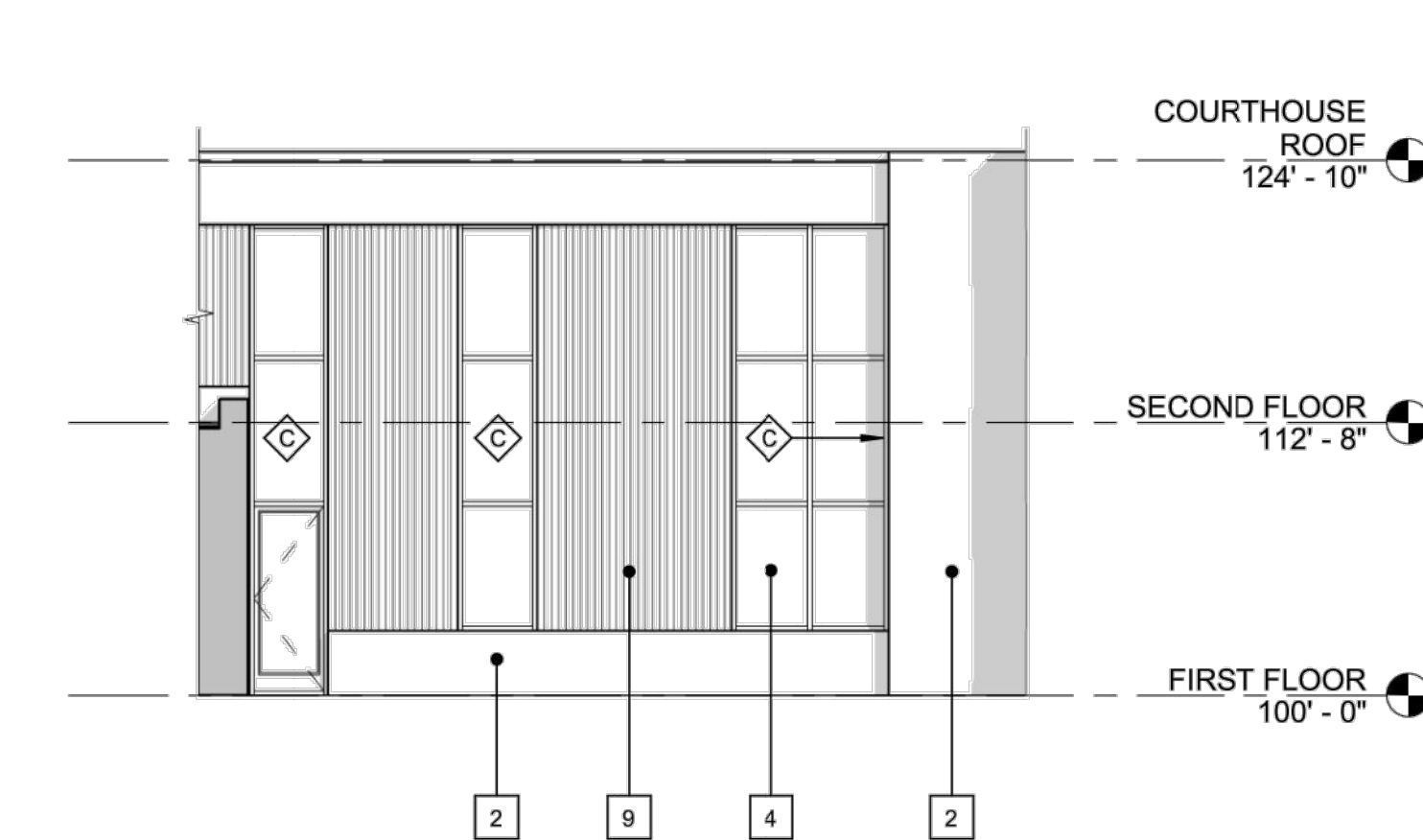
6
 A201
COURTHOUSE SOUTH ELEVATION
 1/8" = 1'-0"



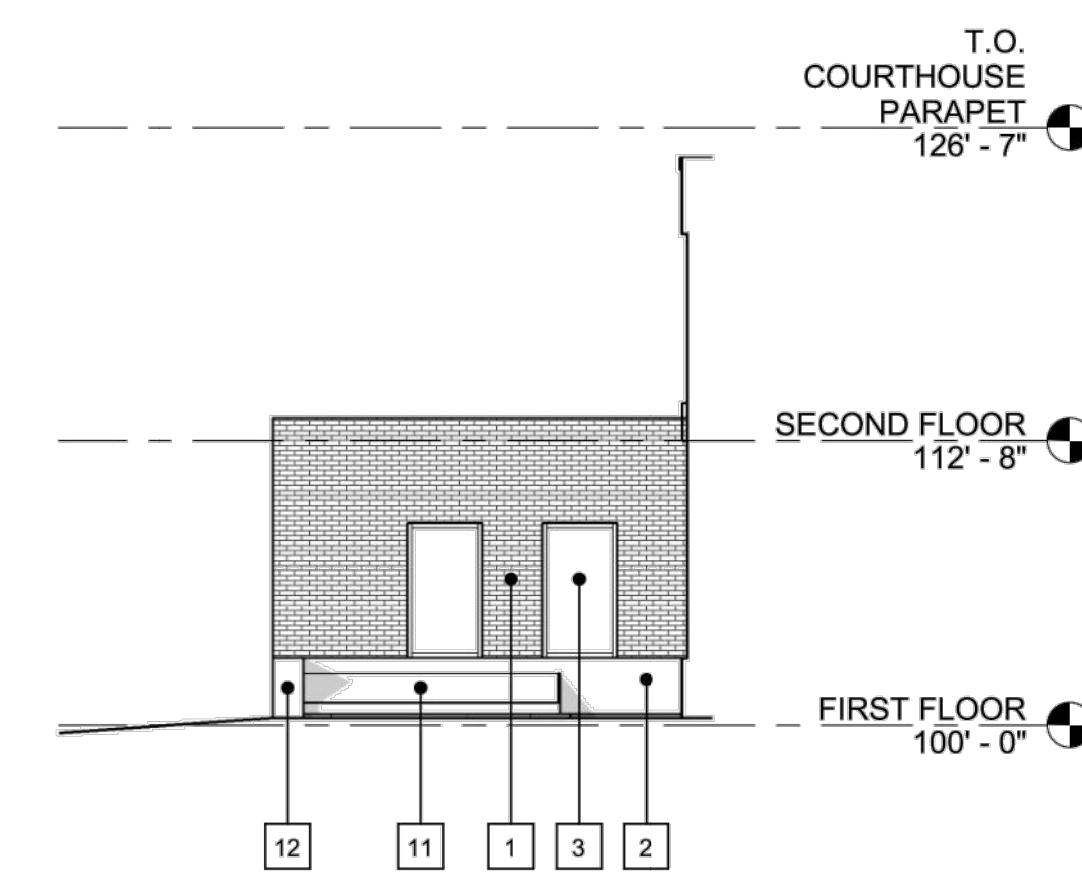
2
 A201
COURTHOUSE EAST ELEVATION
 1/8" = 1'-0"



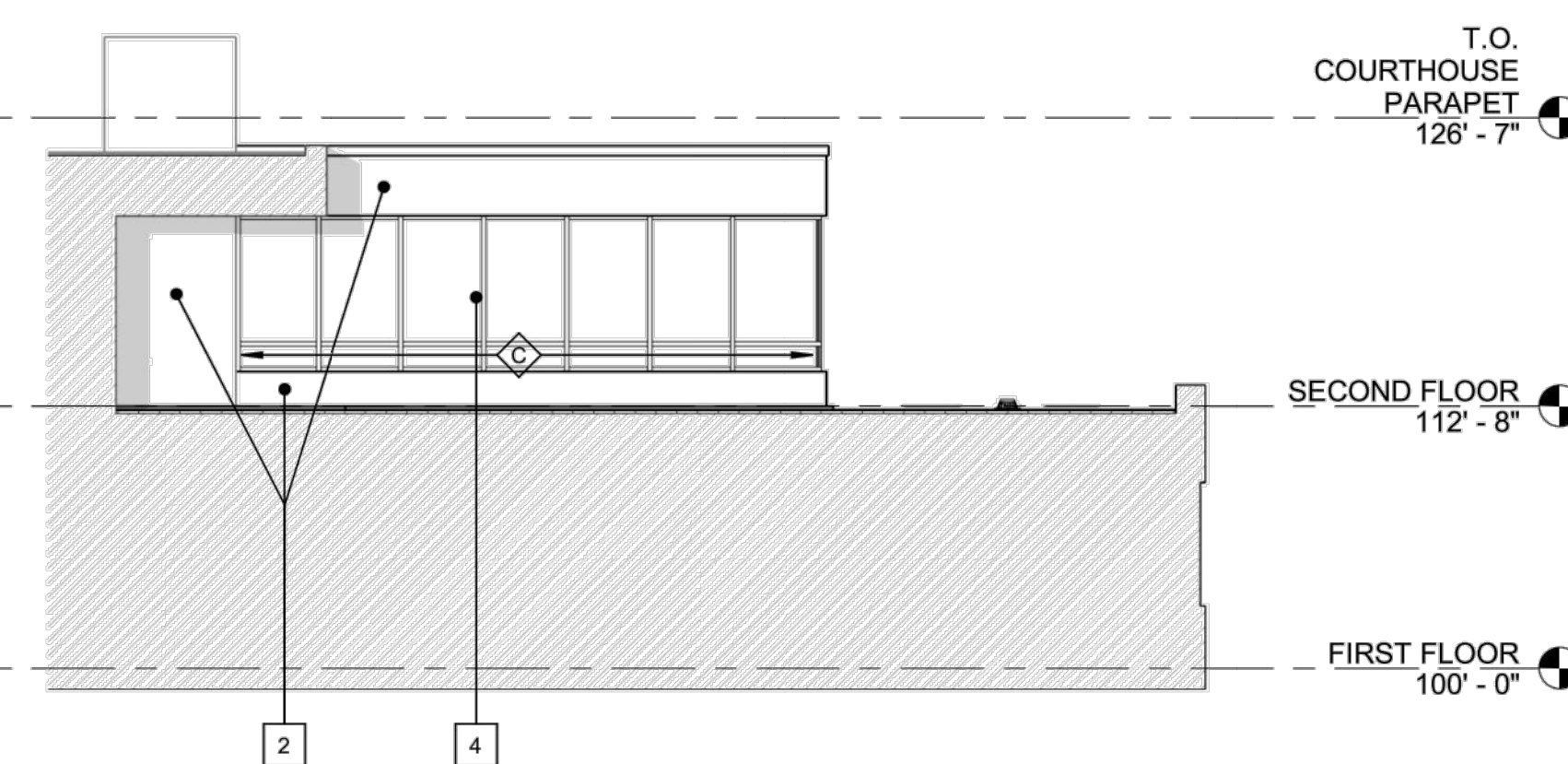
3
 A201
COURTHOUSE WEST ELEVATION
 1/8" = 1'-0"



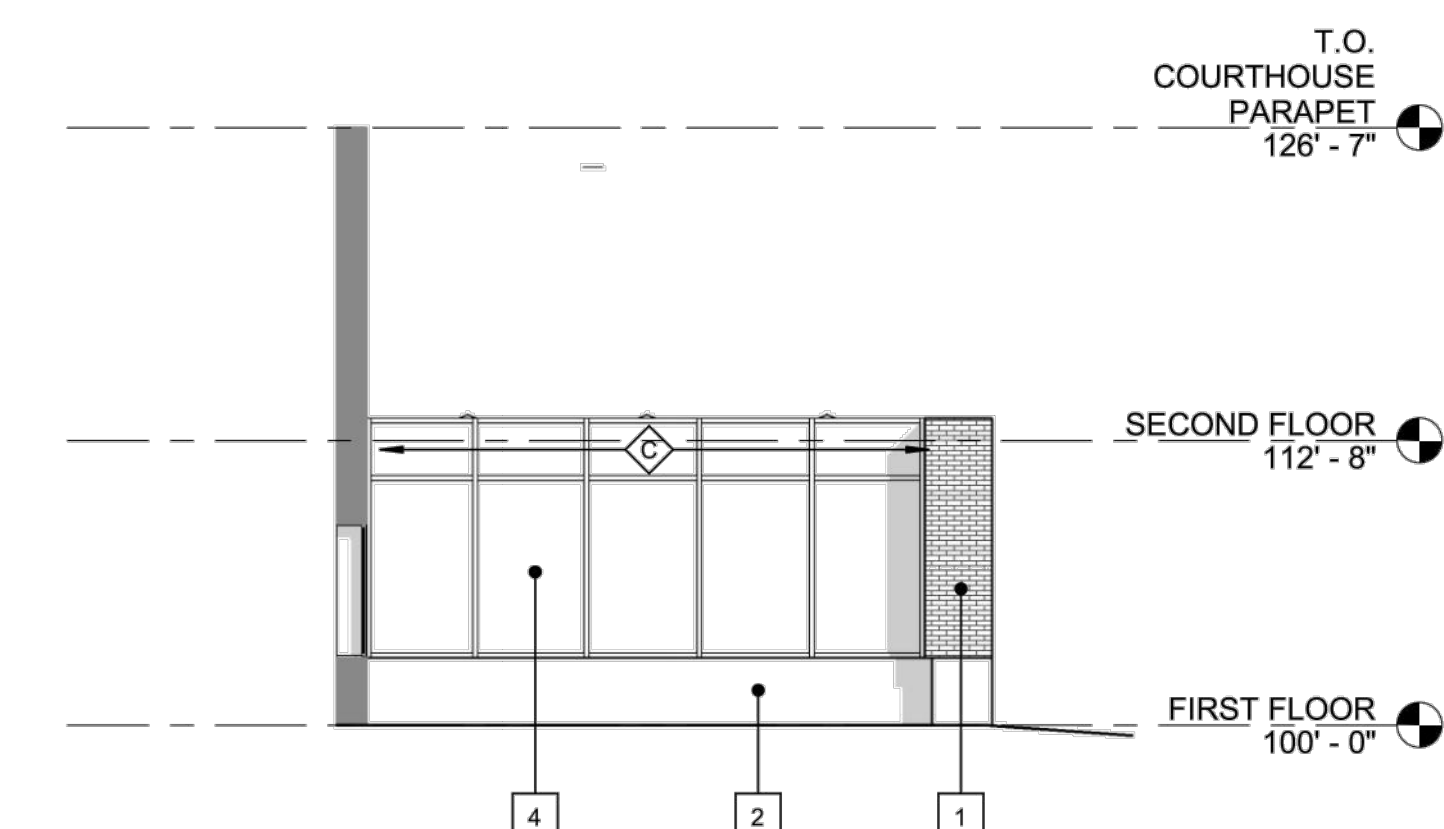
8
 A201
COURTS PARTIAL WEST ELEVATION
 1/8" = 1'-0"



7
 A201
COURTS SOUTH ELEVATION
 1/8" = 1'-0"



5
 A201
COURTS NORTH ELEVATION
 1/8" = 1'-0"



4
 A201
COURTS NORTH ELEVATION
 1/8" = 1'-0"

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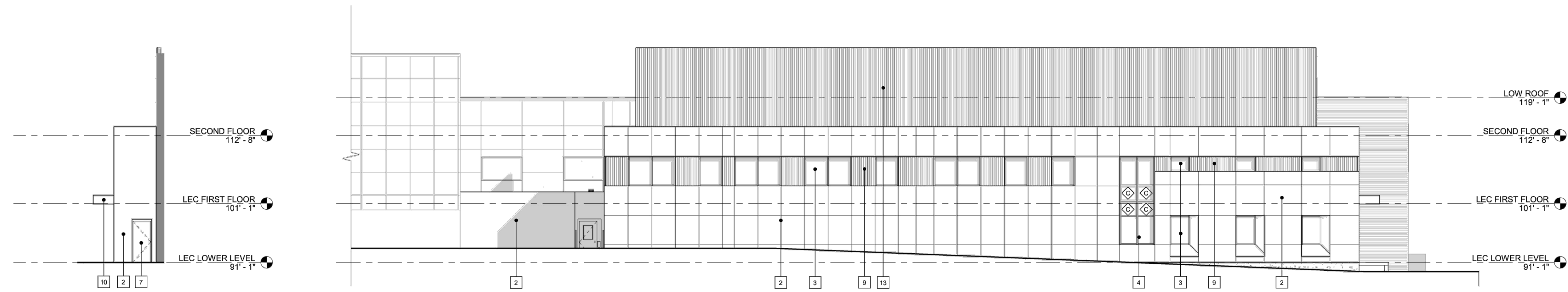
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 ELEVATIONS

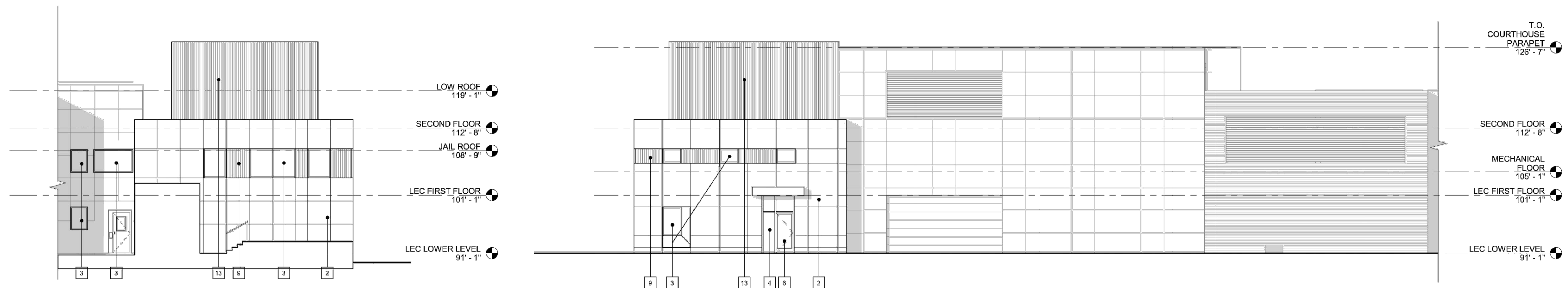
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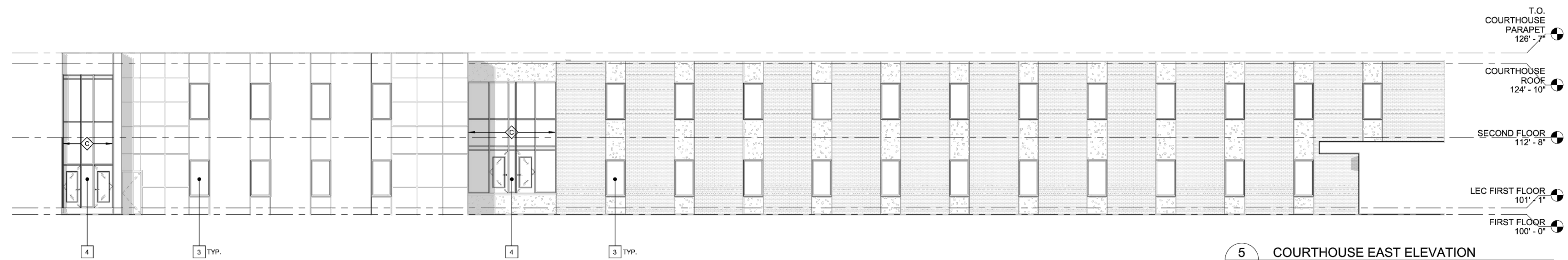
3 EAST ELEVATION
1/8" = 1'-0"

1 WEST ELEVATION
1/8" = 1'-0"

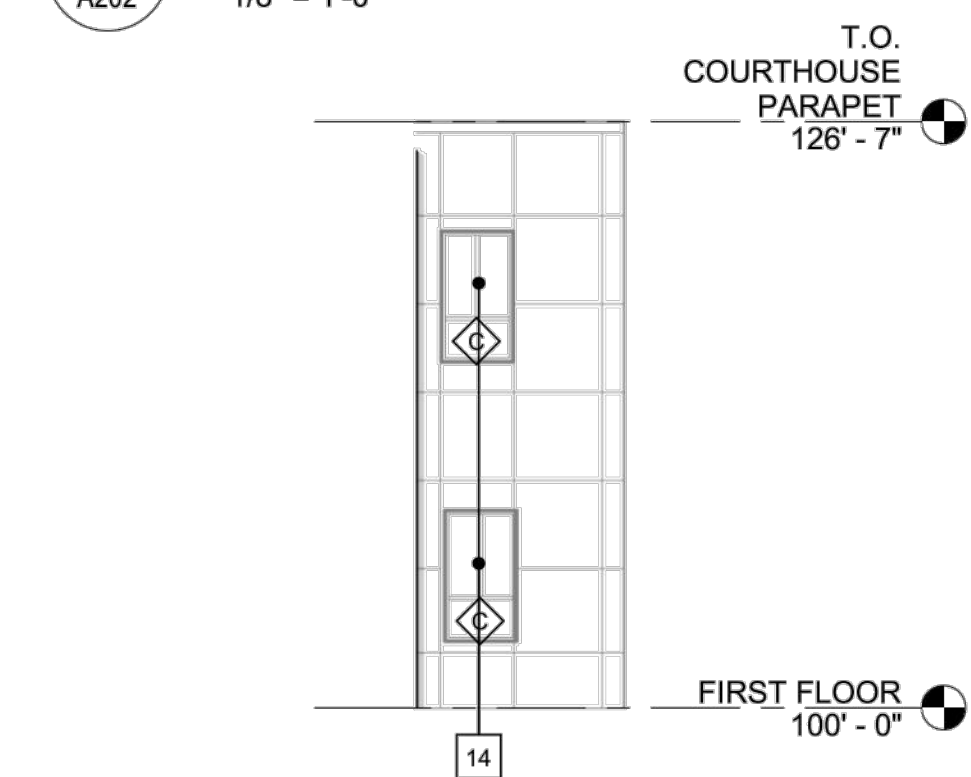


4 NORTH ELEVATION
1/8" = 1'-0"

2 SOUTH ELEVATION
1/8" = 1'-0"



5 COURTHOUSE EAST ELEVATION
1/8" = 1'-0"



6 COURTHOUSE SOUTH ELEVATION
1/8" = 1'-0"

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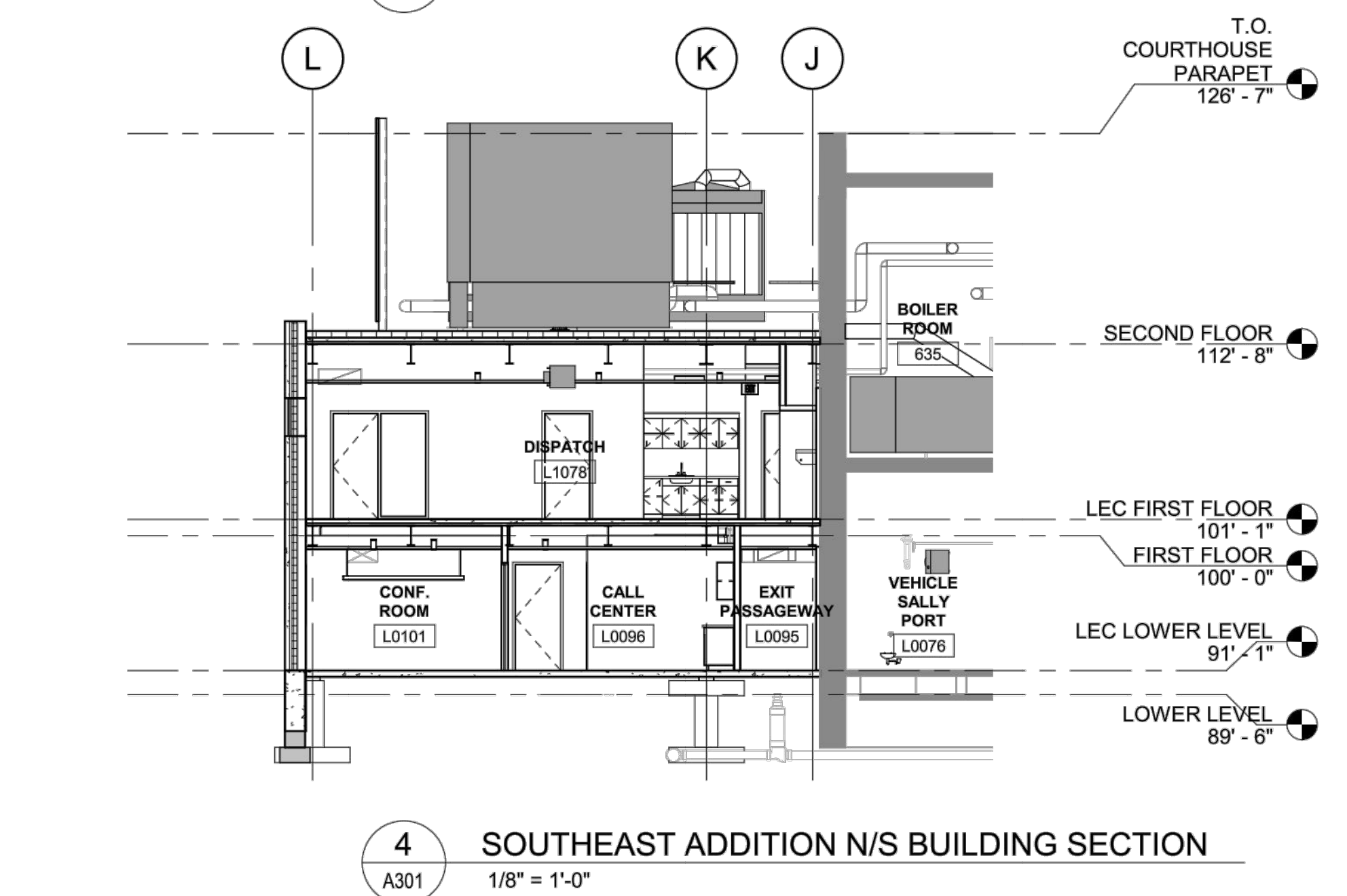
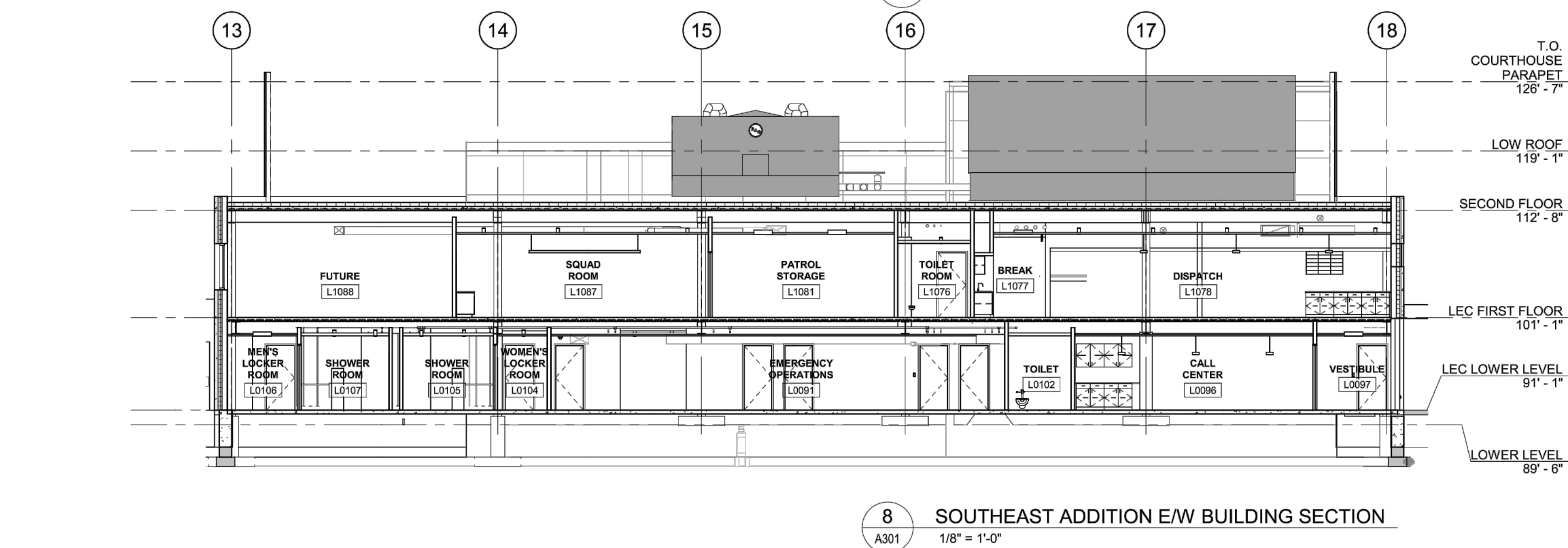
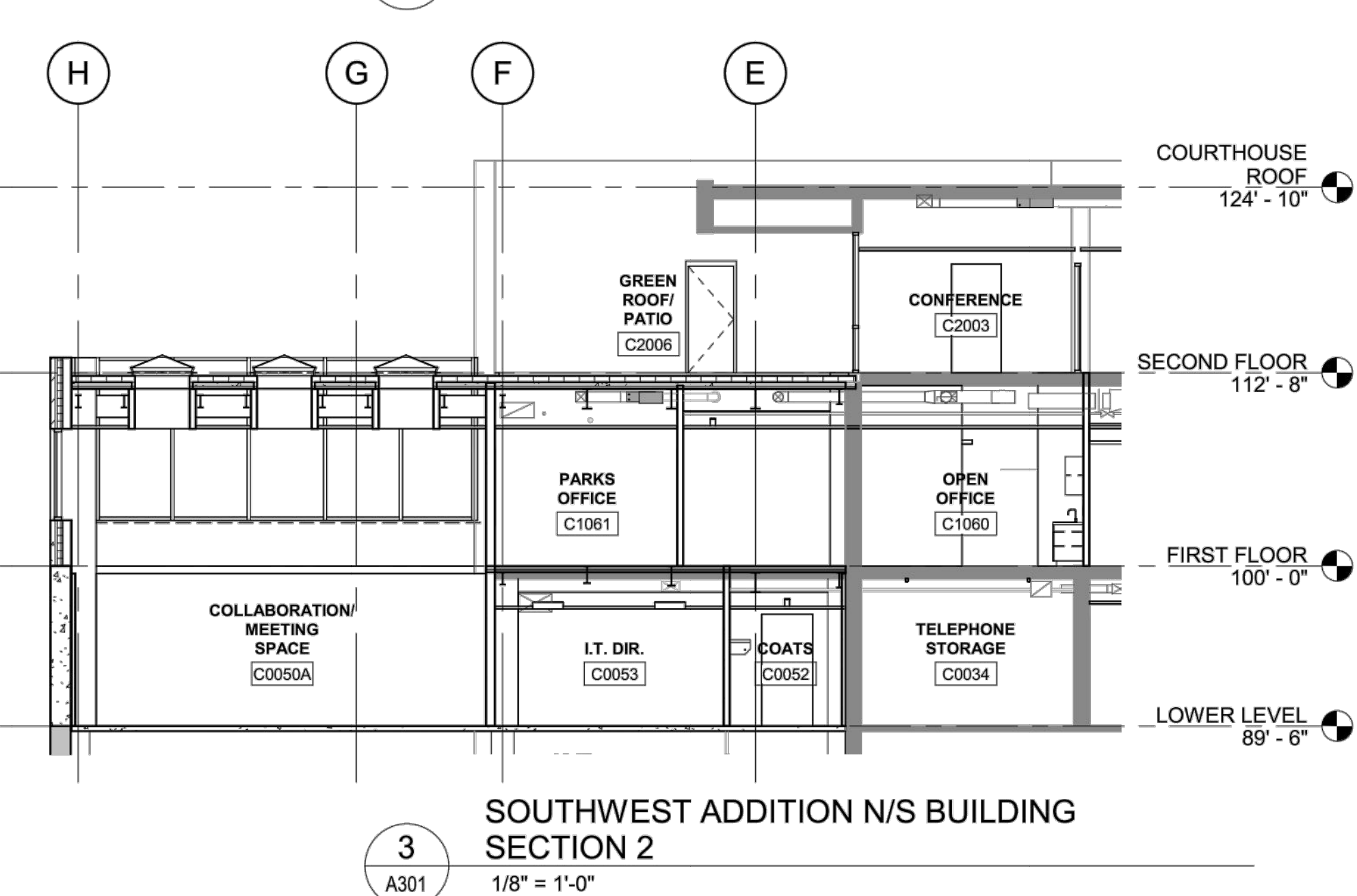
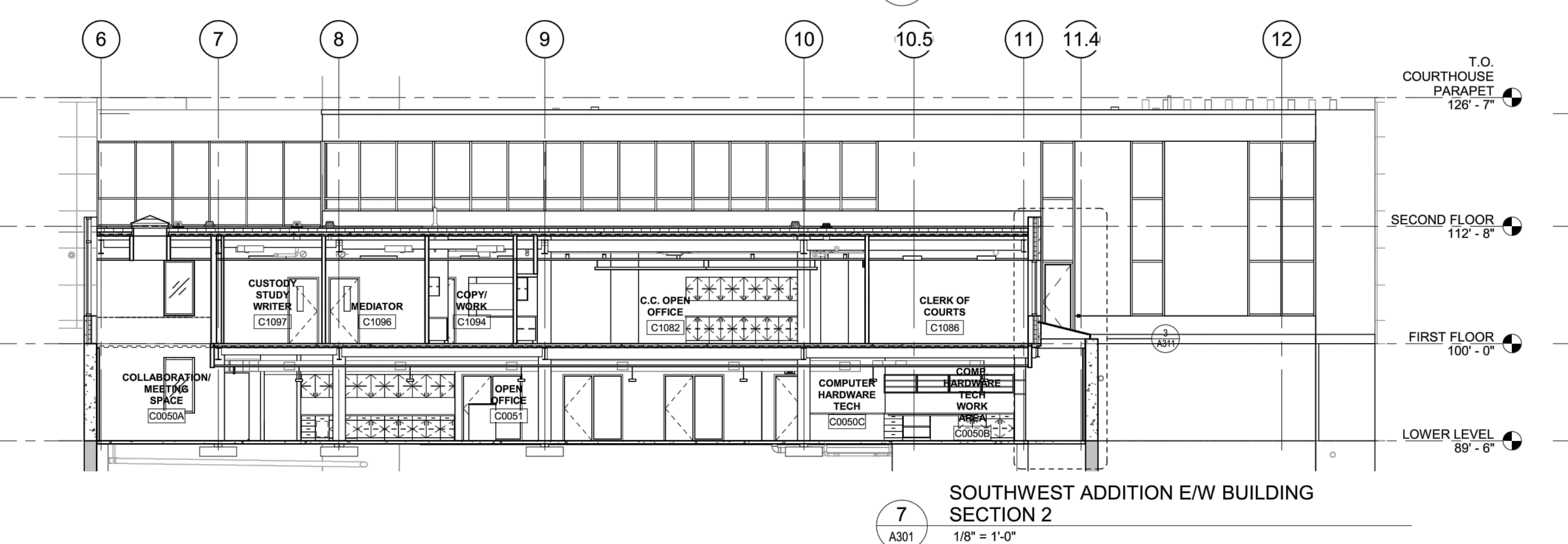
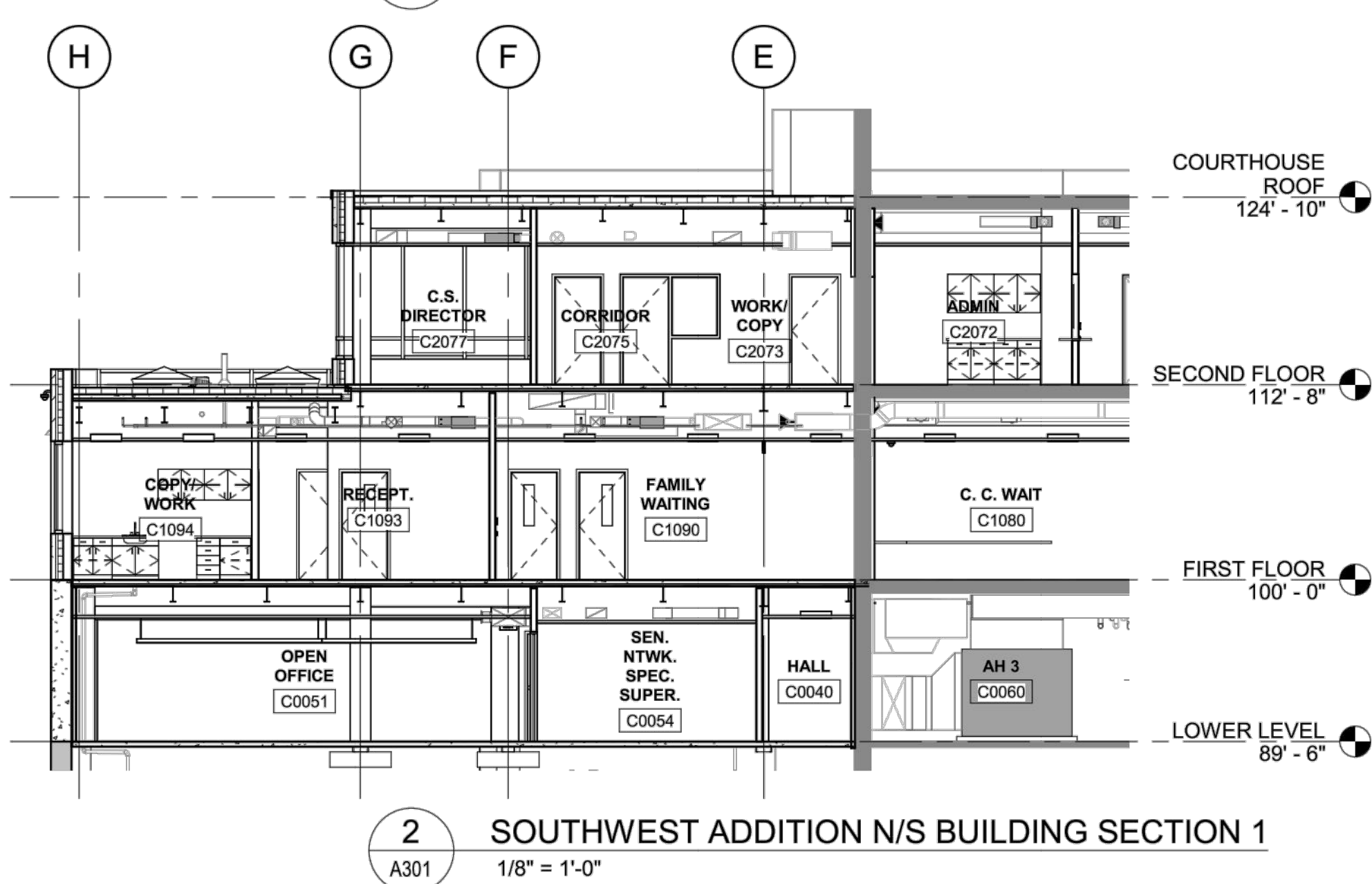
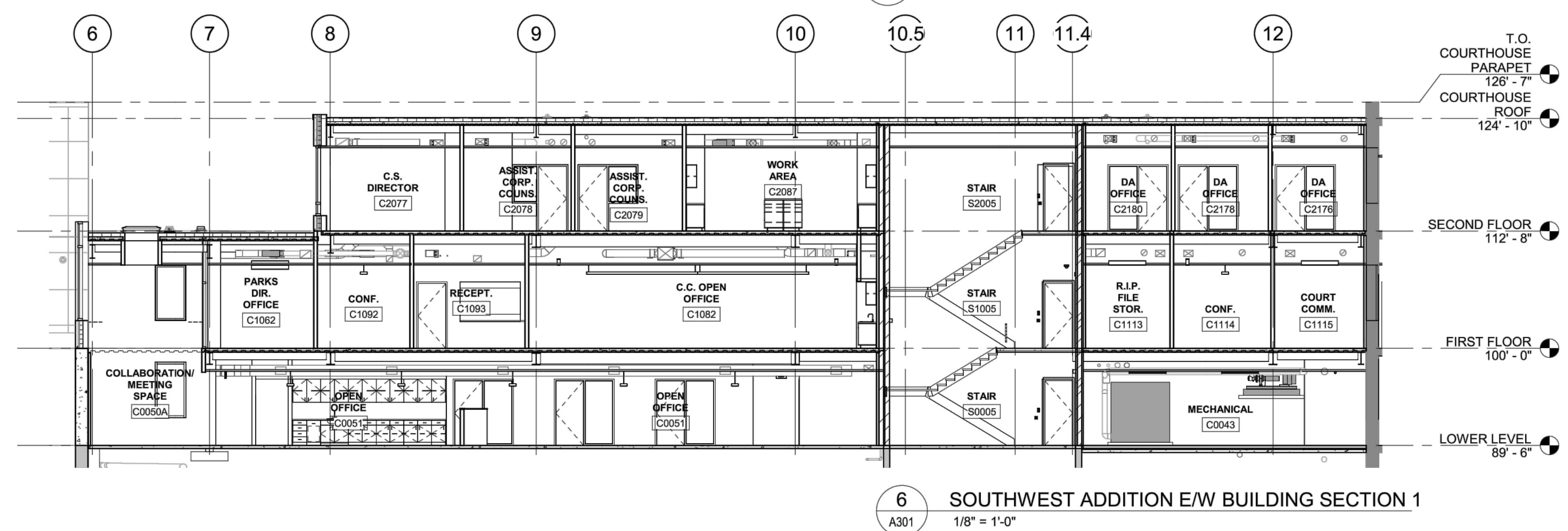
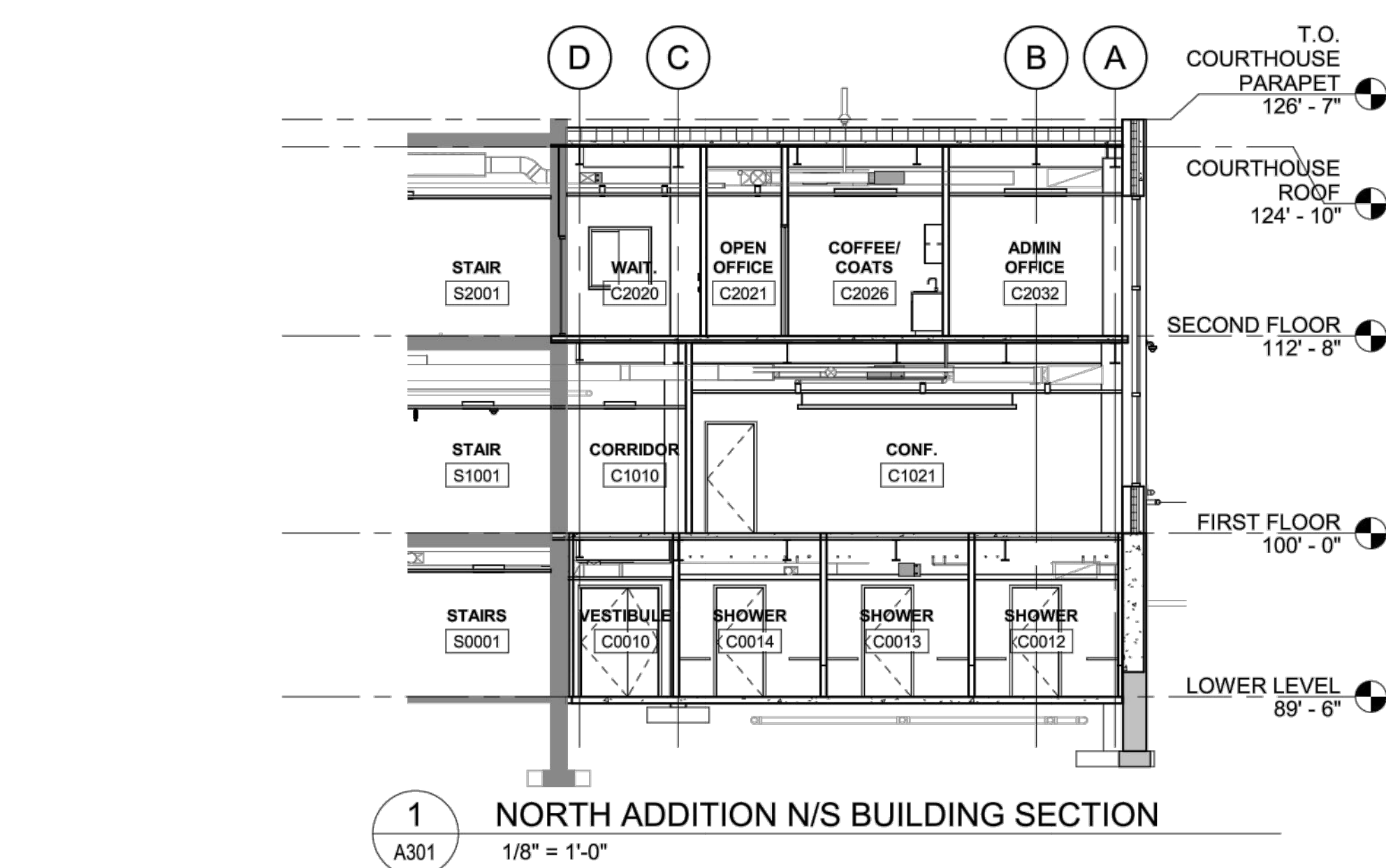
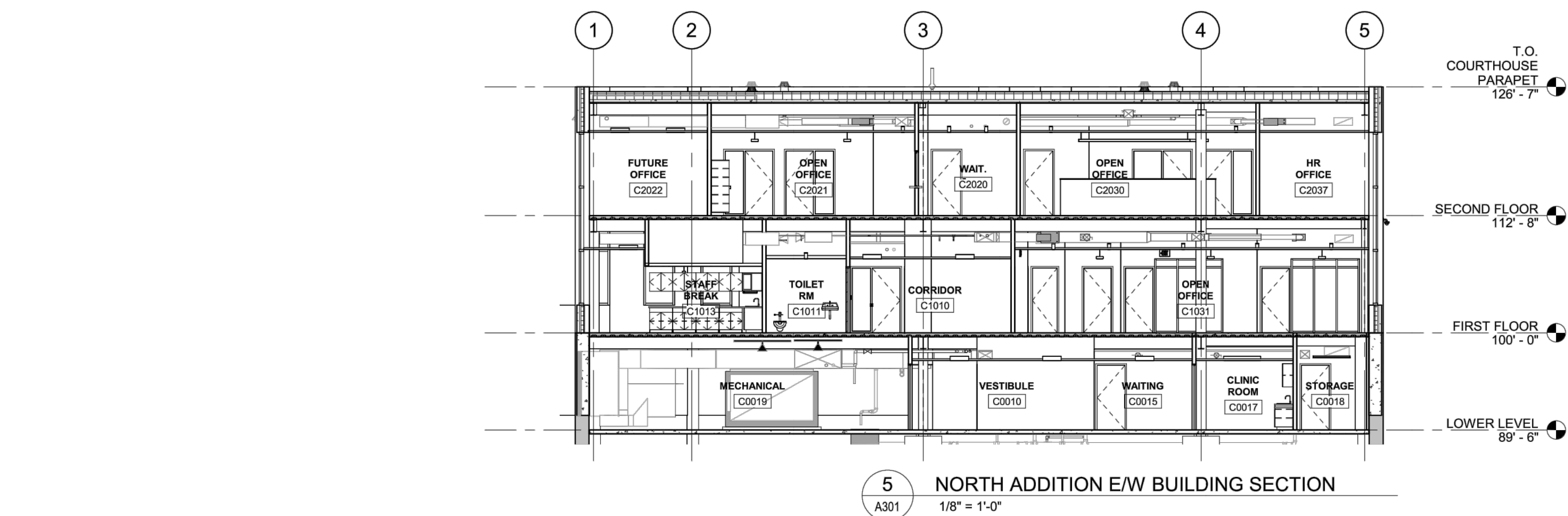
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**BUILDING
SECTIONS**

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